

# AGENDA



PLANNING AND ZONING COMMISSION MEETING  
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS  
JANUARY 9, 2024 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

**NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) OPEN FORUM

*This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.*

(III) CONSENT AGENDA

*These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

(1) Approval of minutes for the December 27, 2023 Planning and Zoning Commission meeting.

(IV) PUBLIC HEARING ITEMS

*This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.*

(2) **Z2023-054 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Pare Underwood on behalf of Annette Lall of HIS Covenant Children, Inc. for the approval of a Specific Use Permit (SUP) for an Event Hall/Banquet Facility on a 0.689-acre tract of land identified as Lots A & B, Block 2, Griffith Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 303 E. Rusk Street, and take any action necessary.

(3) **Z2023-055 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Dean Cathey of Dean Cathey Custom Homes on behalf of Chris Malek for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.2070-acre tract of land identified as Lots N38, N39 & N40 of Lakeside Village, Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 2 (PD-2), addressed as 3601 Highpoint Drive, and take any action necessary.

(4) **Z2023-056 (ANGELICA GUEVARA)**

Hold a public hearing to discuss and consider a request by Paul Arce on behalf of Kisanet Ghebretsadik for the approval of a Specific Use Permit (SUP) for Residential Adjacent to an Established Subdivision for the purpose of constructing a single-family home on a 0.1377-acre parcel of land identified as Lot 22, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 295 Harborview Drive, and take any action necessary.

(V) ACTION ITEMS

*These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.*

(5) **SP2023-047 (HENRY LEE)**

Discuss and consider a request by Nick Hobbs of BGE, Inc. on behalf of Ben Scott of HEB, LP for the approval of a Site Plan for Grocery Store (i.e. HEB) on a 12.519-acre tract of land identified as Tracts 2 & 3 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV)

District and the IH-30 Overlay (IH-30 OV) District, located at the southwest corner of the eastbound IH-30 Frontage Road and John King Boulevard, and take any action necessary.

(6) **SP2023-048 (HENRY LEE)**

Discuss and consider a request by Leslie Ford of Ofi Chito on behalf of Michael Hampton of Creekside Commons Crossing, LP for the approval of a Site Plan for a *Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In (i.e. McDonald's)* on a 1.251-acre tract of land identified as a portion of Lot 3 and all of Lot 2, Block A, Creekside Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located north of the northeast corner of the intersection of S. Goliad Street [SH-205] and FM-549, and take any action necessary.

(7) **SP2023-049 (ANGELICA GUEVARA) [TABLED TO THE JANUARY 30, 2023 PLANNING AND ZONING COMMISSION MEETING]**

Discuss and consider a request by Dewayne Zinn of Cross Engineering Consultants, Inc. on behalf of Chad Dubose of JCDB Goliad Holdings, LLC for the approval of a Site Plan for *General Retail Building* on a 0.7621-acre portion of a larger 2.542-acre parcel of land identified as Lot 1, Block A, Pecan Valley Retail Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive, and take any action necessary.

(8) **SP2023-050 (HENRY LEE) [TABLED TO THE JANUARY 30, 2023 PLANNING AND ZONING COMMISSION MEETING]**

Discuss and consider a request by Jeff Carroll of Carroll Architects on behalf of Scott Tharp of Scott Free Investments for the approval of a Site Plan for *Office/Warehouse Buildings* on a 3.90-acre tract of land identified as Tracts 2-23 & 2-24 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, located at the southeast corner of the intersection of Mims Road and National Drive, and take any action necessary.

(9) **SP2023-051 (HENRY LEE) [TABLED TO THE JANUARY 30, 2023 PLANNING AND ZONING COMMISSION MEETING]**

Discuss and consider a request by Dwaine Powers for the approval of an Amended Site Plan for *Industrial Building* on a 1.8040-acre tract of land identified as Tract 2-8 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, 227 National Drive, and take any action necessary.

(VI) DISCUSSION ITEMS

(10) Director's Report of post City Council meeting outcomes for development cases **(RYAN MILLER)**.

- P2023-039: Replat for Lot 32, Block F, Saddle Star Estates South, Phase 2 Addition **(APPROVED)**
- Z2023-052: Specific Use Permit (SUP) for the REDC for La Jolla Pointe Drive **(2<sup>ND</sup> READING; APPROVED)**
- Z2023-053: Amendment to Planned Development District 4 (PD-4) for the REDC **(2<sup>ND</sup> READING; APPROVED)**

(VII) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on January 5, 2024 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

# MINUTES

PLANNING AND ZONING COMMISSION WORK SESSION MEETING  
CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS  
DECEMBER 27, 2023 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

2 **NOTES:** [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases),  
3 AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC  
4 USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

## 5 6 I. CALL TO ORDER

7  
8 Vice-Chairman Womble called the meeting to order at 6:00 PM. Commissioners present were Jean Conway, Jay Odom and Brian Llewelyn. Absent  
9 from the meeting was Chairman Derek Deckard, Commissioner Kyle Thompson and Ross Hustings. Staff members present were Director of Planning  
10 and Zoning Ryan Miller, Senior Planner Henry Lee, Planning Coordinator Melanie Zavala, City Engineer Amy Williams, Assistant City Engineer  
11 Jonathan Browning and Civil Engineer Madelyn Price. Absent from the meeting was Planner Bethany Ross and Planning Technician Angelica  
12 Guevara.

## 13 14 II. APPOINTMENTS

- 15  
16 1. Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on  
17 the agenda requiring architectural review.

18  
19 **Director of Planning and Zoning Ryan Miller advised that staff would provide ARB recommendations when staff presents the cases.**

## 20 21 III. OPEN FORUM

22  
23 *This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the*  
24 *policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN*  
25 *FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings*  
26 *Act.*

27  
28 Vice-Chairman Womble explained how the open forum is conducted and asked if anyone who wished to speak to come forward at this time, there  
29 being no one indicating such, Vice-Chairman Womble closed the open forum.

## 30 31 IV. CONSENT AGENDA

32  
33 *These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC)*  
34 *and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.*

- 35  
36 2. Approval of minutes for the **December 12, 2023** Planning and Zoning Commission meeting.

### 37 38 3. P2023-039 (ANGELICA GUEVARA)

39 Consider a request by Ryan King of Pettitt-ECD, LP on behalf of Saddle Star South Holdings, LLC for the approval of a Replat for Lot 32, Block F, Saddle Star  
40 Estates South, Phase 2 Addition being a 0.289-acre parcel of land identified as Lot 20, Block F, Saddle Star Estates South, Phase 2 Addition, City of Rockwall,  
41 Rockwall County, Texas, zoned Planned Development District 79 (PD-79) for Single-Family 8.4 (SF-8.4), addressed as 2303 Sarah Drive, and take any  
42 action necessary.

43  
44 **Commissioner Llewelyn made a motion to approve Consent Agenda. Commissioner Conway seconded the motion which passed by a vote of 4-0.**

## 45 46 V. DISCUSSION ITEMS

47  
48 *These items are for discussion between staff and the Planning and Zoning Commission and relate to administrative information and/or cases that will come*  
49 *forward for action or public hearing at a future Planning and Zoning Commission meeting. Public comment on these cases can take place when these items*  
50 *are considered for action by the Planning and Zoning Commission. The anticipated Planning and Zoning Commission public hearing and/or action date for the*  
51 *following cases is January 9, 2024.*

### 52 53 4. Z2023-054 (HENRY LEE)

54 Hold a public hearing to discuss and consider a request by Pare Underwood on behalf of Annette Lall of HIS Covenant Children, Inc. for the approval of a  
55 Specific Use Permit (SUP) for an Event Hall/Banquet Facility on a 0.689-acre tract of land identified as Lots A & B, Block 2, Griffith Addition, City of Rockwall,  
56 Rockwall County, Texas, zoned Downtown (DT) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 303 E. Rusk Street, and  
57 take any action necessary.

58  
59 Senior Planner Henry Lee provided a brief summary in regard to the request. This case originally came to staff through a code enforcement case.  
60 The applicant was operating without a Certificate of Occupancy (CO). However, the applicant came into this space before we required COs for every  
61 use within the building, before we only required users who had direct access to the street to have a CO. In this case they do not have direct access  
62 therefore when they first came in, they did not require the CO. However, after the policy change was made and then it was discovered what the land  
63 use was, and they didn't meet the land use code or the zoning code they then are coming through to get their all their approvals to get their use legal.

64 Staff also wanted to mention this case did go to the Historic Preservation Advisory Board (HPAB). The board did motion to approve then sending a  
65 recommendation of approval from the HPAB to the Planning and Zoning Commission.  
66

67 Pare Underwood  
68 11644 CR 536  
69 Rockwall, TX 75087  
70

71 Mrs. Underwood came forward and provided additional details regarding the request.  
72

73 Commissioner Odom asked if the property had stained glass windows.  
74

75 Director of Planning and Zoning Ryan Miller mentioned the annex is not considered to be historic in any way only the main sanctuary is historic. The  
76 property is on the National Register as well as being identified as a local landmark through our Historic Preservation Advisory Board. When staff  
77 found out about the use, we engaged the applicant, and she was gracious enough to allow staff to come out and do the health safety inspections  
78 ahead of time therefore we could report to you as she was going through the process.  
79

80 Vice- Chairman Womble advised that this item will go before the Commission for discussion or action on January 9, 2024.  
81

82 5. Z2023-055 (ANGELICA GUEVARA)

83 Hold a public hearing to discuss and consider a request by Dean Cathey of Dean Cathey Custom Homes on behalf of Chris Malek for the approval of a Specific  
84 Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.2070-acre tract of land identified  
85 as Lots N38, N39 & N40 of Lakeside Village, Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 2 (PD-2),  
86 addressed as 3601 Highpoint Drive, and take any action necessary.  
87

88 Director of Planning and Zoning Ryan Miller provided a brief summary in regard to the request. The applicant is requesting a Specific Use Permit  
89 (SUP) for a residential infill. This property is in lakeside village subdivision, also in a gated private community. It does appear to meet all applicable  
90 requirements for their zoning district being Planned Development District 2 (PD-2).  
91

92 Dean Cathey  
93 3066 Rochelle Rd  
94 Rockwall, TX 75032  
95

96 Mr. Cathey came forward and provided additional details in regards to the request.  
97

98 Vice- Chairman Womble advised that this item will go before the Commission for discussion or action on January 9, 2024.  
99

100 6. Z2023-056 (ANGELICA GUEVARA)

101 Hold a public hearing to discuss and consider a request by Paul Arce on behalf of Kisanet Ghebretsadiq for the approval of a Specific Use Permit (SUP) for  
102 Residential Adjacent to an Established Subdivision for the purpose of constructing a single-family home on a 0.1377-acre parcel of land identified as Lot 22,  
103 Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 295  
104 Harborview Drive, and take any action necessary.  
105

106 Director of Planning and Zoning Ryan Miller provided a summary regarding the request. The applicant is requesting a Specific Use Permit (SUP) for  
107 a residential infill. This would be a new home in an established subdivision. The house is a bit more modern however, this phase of the Chandler's  
108 Landing subdivision does have some moderns in it therefore being comparable to some of the existing houses in the area. It does appear to meet  
109 all the requirements and required height.  
110

111 Paul Arce  
112 5807 Ranger Drive  
113 Rockwall, TX 75087  
114

115 Mr. Arce came forward and provided additional details regarding the request.  
116

117 Vice- Chairman Womble advised that this item will go before the Commission for discussion or action on January 9, 2024.  
118

119 7. SP2023-047 (HENRY LEE)

120 Discuss and consider a request by Nick Hobbs of BGE, Inc. on behalf of Ben Scott of HEB, LP for the approval of a Site Plan for Grocery Store (i.e. HEB) on a  
121 12.519-acre tract of land identified as Tracts 2 & 3 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C)  
122 District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District and the IH-30 Overlay (IH-30 OV) District, located at the southwest corner of the  
123 eastbound IH-30 Frontage Road and John King Boulevard, and take any action necessary.  
124

125 Senior Planner Henry Lee provided a brief summary regarding the request. The applicant is requesting approval of a site plan for a grocery store.  
126 The Architecture Review Board did look at this tonight and they did go ahead and make a motion of approval. They are requesting some variances  
127 at this time. They're still working through staff comments therefore maybe one or two will drop or there might be others that are identified through  
128 the process. Staff had made some recommendations for compensatory measures to the applicant, and they do seem open to those. Therefore, we're  
129 still working through that process.  
130  
131

132 John Rose  
133 4135 Calculus Dr  
134 Dallas, TX 75244

135  
136 Mr. Rose came forward and provided additional details in regard to the request.

137  
138 Vice- Chairman Womble advised that this item will go before the Commission for discussion or action on January 9, 2024.

139  
140 8. SP2023-048 (HENRY LEE)

141 Discuss and consider a request by Leslie Ford of Ofi Chito on behalf of Michael Hampton of Creekside Commons Crossing, LP for the approval of a Site Plan  
142 for a *Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In (i.e. McDonald's)* on a 1.251- acre tract of land identified as a portion of Lot 3 and all of  
143 Lot 2, Block A, Creekside Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay  
144 (SH-205 OV) District, generally located north of the northeast corner of the intersection of S. Goliad Street [SH-205] and FM-549, and take any action necessary.

145  
146 Senior Planner Henry Lee provided a brief summary in regard to the request. Staff has been working with the applicant the last couple development  
147 cycles working through their comments. They had issues meeting both Planning and Zoning Commissions concerns and the Architectural Review  
148 Board concerns. In terms of articulation since that last time they withdrew they have made some articulation changes to the building and they're  
149 closer to meeting our requirements. ARB did look at it tonight and the only change they really were requesting the parapet features that go up they  
150 were just asking for more depth to bring that closer to the articulation requirements on those elements. other than that, ARB didn't have any other  
151 concerns. They do still have variances but they're closer to meeting them.

152  
153 Vice- Chairman Womble advised that this item will go before the Commission for discussion or action on January 9, 2024.

154  
155 9. SP2023-049 (ANGELICA GUEVARA)

156 Discuss and consider a request by Dewayne Zinn of Cross Engineering Consultants, Inc. on behalf of Chad Dubose of JCDB Goliad Holdings, LLC for the  
157 approval of a Site Plan for *General Retail Building* on a 0.7621-acre portion of a larger 2.542-acre parcel of land identified as Lot 1, Block A, Pecan Valley Retail  
158 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District, situated within the North  
159 SH-205 Overlay (N. SH-205 OV) District, addressed as 150 Pecan Valley Drive, and take any action necessary.

160  
161 Director of Planning and Zoning Ryan Miller provided a brief summary in regards to the request. This is in Plan Development District 65 (PD-65). This  
162 has an underlying zoning of General Retail (GR). This was previously brought to the Commission when they requested a Specific Use Permit (SUP)  
163 for a Smoothie King. Since then they've actually worked out a deal. The cities property which is directly east of here. City Council actually worked a  
164 deal. They would like to utilize the city's existing pond for detention retention. Ultimately, we did a facilities agreement they've agreed to provide  
165 some amenities there. They're also going to be planting multiple trees on that property which will help offset the mitigation. They will be removing a  
166 lot of mature trees in there for the building. They have some landscaping going back in but for the most part that property will be clear cut. Couple  
167 of issues we had on the site plan is they are currently over parked and now we have to look at that. When staff was looking at it they didn't realize  
168 they were removing some of the parking on the northern property. They will have to have to run the parking calculations on both buildings. Secondly,  
169 they do have additional parking. Staff recommended that they remove that because they're having issues providing the landscaping. The landscaping  
170 you see here is in easements and they're too close to those lines. Since those are some large lines running through there they have some certain  
171 obligations that they agreed to through the SUP ordinance and they'll have to find a way to provide that landscaping. Other issues we had with this  
172 particular design were with the building. The building itself doesn't meet a number of the city's ordinances including our circulation four- sided  
173 architecture. It does meet the materials therefore during ARB the applicant stated that their desire is to meet the building north of them. Unfortunately,  
174 during ARB, they discussed about the visibility of this property. The fact it'll be a public park back there you have passed through traffic. There're  
175 really three sides of this building that will be highly visible actually all four sides. Staff has made a number of recommendations to the applicant  
176 about increasing the storefront glass the architectural features and then also bringing those parapet elements back into the building to meet the  
177 massing requirements. Using the increased height to screen the units, according to the elevations the way they read some of the units on the short  
178 side will be visible. Staff made those recommendations to the applicant. ARB did review this and they agreed with staff assessment that they  
179 would like to see more of the four-sided architectural elements. The two most visible sides being from pecan valley and then also from quail run.  
180 They will basically have no adornments or articulation so they really want to see a building that meets the four-sided architecture requirements on  
181 this. Staff understands the applicant's argument about wanting to match the building north of there but a lot of the mature trees along quail run were  
182 left in place to provide screening. In this case they're removing all those mature trees and that'll make that building even more visible.

183  
184 Dan Sopranzi  
185 10300 N Central Expy  
186 Dallas, TX 75231

187  
188 Mr. Sopranzi came forward and provided additional details in regards to the request.

189  
190 Vice-Chairman Womble asked if they handled the access on the building.

191  
192 Vice- Chairman Womble advised that this item will go before the Commission for discussion or action on January 9, 2024.

193  
194 10. SP2023-050 (HENRY LEE)

195 Discuss and consider a request by Jeff Carroll of Carroll Architects on behalf of Scott Tharp of Scott Free Investments for the approval of a Site Plan for  
196 *Office/Warehouse Buildings* on a 3.90-acre tract of land identified as Tracts 2-23 & 2-24 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall,  
197 Rockwall County, Texas, zoned Heavy Commercial (HC) District, located at the southeast corner of the intersection of Mims Road and National Drive, and  
198 take any action necessary.

200 Senior Planner Henry Lee provided a brief summary in regards to the request. They are requesting the five office warehouse buildings on the subject  
201 property being heavy commercial (HC) which is allowed by right. They do have a few variances that staff has identified at this time. However, there  
202 may be more. Staff has a lot of comments they need to work through with the applicant in regards to this. ARB did review this and needed a lot of  
203 clarification on a lot of the orientations of the buildings and specifically how the buildings are being used. There was just a lot of confusion on their  
204 parts they weren't sure tonight how to offer recommendations they just needed more information from the applicant on really the orientation of the  
205 buildings and how they're being utilized in order to make those recommendations.  
206

207 Director of Planning and Zoning Ryan Miller advised that the overhead doors are actually in front of the required parking. In order to access the  
208 overhead doors somebody would have to pull out of the required parking space to pull into the overhead door.  
209

210 **Jeff Carroll**  
211 750 E Interstate 30  
212 Rockwall, TX 75087  
213

214 Mr. Carroll came forward and provided additional details in regards to the request.  
215

216 Vice- Chairman Womble advised that this item will go before the Commission for discussion or action on January 9, 2024.  
217

218 11. **SP2023-051 (HENRY LEE)**

219 Discuss and consider a request by Dwaine Powers for the approval of an Amended Site Plan for Industrial Building on a 1.8040-acre tract of land identified as  
220 Tract 2-8 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, 227 National Drive,  
221 and take any action necessary.  
222

223 Senior Planner Henry Lee provided a brief summary I regards to the request. Last year this came through for a SUP case for a towing company. They  
224 were actually operating on the property to the South of there but over time they had started using the property to the north and they never received  
225 the approval for a SUP for that. They did get approval for it however that did include that they provide a concrete parking area in front of the building.  
226 That was never done and now the property owners are selling the property and the applicant is now looking to come in and do a car rental facility.  
227 They are proposing to add the parking that would be required for that. They are removing some of that second drive that would be on the north side  
228 of the building they're looking to remove that to try to offset some of the detention they would have for the additional impervious surface for the  
229 parking. In addition to that they will be requesting a variance to the paving material requirements. The previous owner had come in and basically  
230 when they moved out of that property they just cleared it all out and then graveled it and they didn't do that with the any city approvals. Now this  
231 buyer is coming in and looking at doing this here and he's just asking to keep what the previous tenant had done without permits so they would like  
232 to keep the back area all gravel to store their rental cars on and not have to pave the whole site and provide the detention for it. They're also one or  
233 two parking spaces short, their revision may correct that. They may have issues meeting the resubmittal dates therefore they have actually already  
234 requested to extend this case so it may not be coming back to you at this next meeting but beyond that but we'll work through comments with them  
235 and get an updated plan.  
236

237 Vice- Chairman Womble advised that this item will go before the Commission for discussion or action on January 9, 2024.  
238

239 12. Director's Report of post City Council meeting outcomes for development cases (RYAN MILLER).  
240

- 241 • Z2023-052: Specific Use Permit (SUP) for the REDC for La Jolla Pointe Drive (1<sup>ST</sup> READING; APPROVED)
  - 242 • Z2023-053: Amendment to Planned Development District 4 (PD-4) for the REDC (1<sup>ST</sup> READING; APPROVED)
- 243

244 Director of Planning and Zoning Ryan Miller Provided a brief summary in regards to the request.  
245

246 VI. ADJOURNMENT  
247

248 Vice- Chairman Womble adjourned the meeting at 6:57PM  
249

250 PASSED AND APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, Texas, this \_\_\_\_\_ day of \_\_\_\_\_  
251 \_\_\_\_\_, 2024.  
252

253 \_\_\_\_\_  
254 Derek Deckard, Chairman

255 Attest:

256 \_\_\_\_\_  
257 Melanie Zavala, Planning Coordinator  
258



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

**TO:** Planning and Zoning Commission

**DATE:** January 9, 2024

**APPLICANT:** Pare Underwood and Haley Crespo

**CASE NUMBER:** Z2023-054; *Specific Use Permit (SUP) for an Event Hall/Banquet Facility at 303 E. Rusk Street*

### SUMMARY

Hold a public hearing to discuss and consider a request by Pare Underwood on behalf of Annette Lall of HIS Covenant Children, Inc. for the approval of a Specific Use Permit (SUP) for an *Event Hall/Banquet Facility* on a 0.689-acre tract of land identified as Lots A & B, Block 2, Griffith Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 303 E. Rusk Street, and take any action necessary.

### BACKGROUND

The subject property was annexed prior to 1900 based on the October 1900 Sanborn Maps. According to the Rockwall Central Appraisal District (RCAD), existing on the subject property are a 3,980 SF *Office Building* and a 4,209 SF *House of Worship*. The *House of Worship* was constructed in 1910, and -- based on the 1934 Sanborn Maps -- the *Office Building* was constructed after 1934; however, the Rockwall Central Appraisal District (RCAD) lists both buildings as being constructed in 1910.

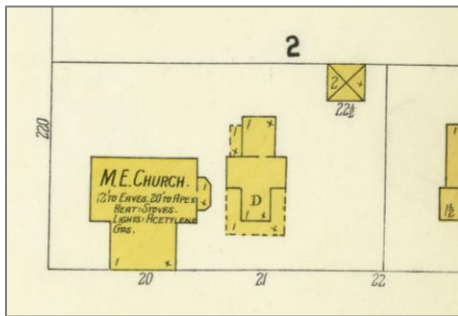


FIGURE 1: 1900 SANBORN MAPS

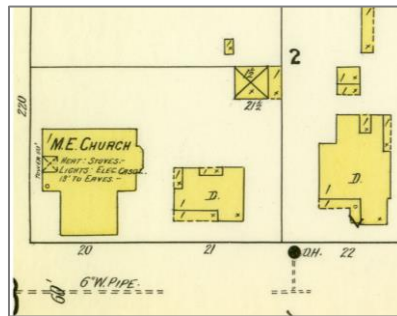


FIGURE 2: 1911 SANBORN MAPS

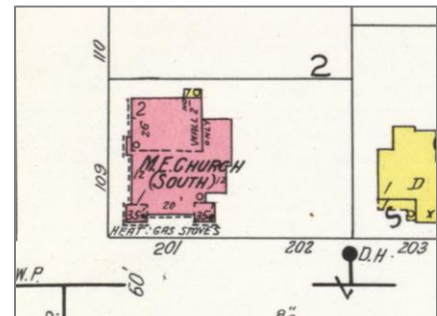


FIGURE 3: 1934 SANBORN MAPS

On August 21, 2003, the Historic Preservation Advisory Board (HPAB) established the subject property as a *Landmark Property*. Staff should note that the *Landmark Property* status generally applies to the *House of Worship* portion of the building; however, the *Landmark Property* status affects the entire property. This means that the *Office Building* is subject to the requirements of Appendix 'D', *Historic Preservation Guidelines*, of the Unified Development Code (UDC). The subject property was also placed on the *National Register of Historic Places* by the National Park Service in 2007.

Staff should note that this case was based on a Neighborhood Improvement Services (NIS) referral that was initiated due to an active zoning violation case (*Case No. CE2023-5818*). The violation case was initiated after it was brought to staff's attention that an *Event Hall/Banquet Facility* was operating within the *Office Building* on the subject property without a Certificate of Occupancy (CO). In talking to the applicant, the applicant has stated to staff that she contacted the City in March 2023 to inquire about the need for a Certificate of Occupancy (CO), and that the City -- and the property owner of the *Office Building* both -- stated that she did not require a Certificate of Occupancy (CO). Staff should note that prior to November 2023, it was the City's policy that if a permitted *by-right* land use, did not have direct access to the exterior of a building (*i.e. only had direct access via a common corridor in a building*), that a business did not require a Certificate of Occupancy (CO); however, this policy was amended in November 2023 to require all businesses to obtain a Certificate of Occupancy (CO). This policy change was due to land use issues concerning another Certificate of Occupancy (CO) request. With this being said, the proposed land use (*i.e.*

an Event Center/Banquet Facility) requires a Specific Use Permit (SUP), and is not a permitted *by-right* land use in the Downtown (DT) District. Staff should also note that the applicant has been cooperative in working with staff to remedy the zoning violation. In addition, representatives of the Building Inspections and Fire Departments have performed cursory inspections, and verified that the current business meets all applicable health and safety requirements.

In this case, the Historic Preservation Advisory Board (HPAB) was required to review the case and act on a Certificate of Appropriateness (COA) for the proposed land use prior to the Specific Use Permit (SUP) being reviewed and acted upon by the Planning and Zoning Commission and City Council. On December 21, 2023, the Historic Preservation Advisory Board (HPAB) reviewed the applicant's request for the *Event Hall/Banquet Facility* and approved a motion to approve a Certificate of Appropriateness (COA) (Case No. H2023-022) by a vote of 4-0, with Board Members McNeely, Litton, and Gaskin absent. The approval of this Certificate of Appropriateness (COA) is essentially a recommendation for approval of the Specific Use Permit (SUP) from the Historic Preservation Advisory Board (HPAB).

## **PURPOSE**

The applicant is requesting approval of a Specific Use Permit (SUP) for the purpose of allowing an *Event Hall/Banquet Facility* on the subject property.

## **ADJACENT LAND USES AND ACCESS**

The subject property is located at 303 E. Rusk Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is E. Kaufman Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are four (4) parcels of land, three (3) developed with commercial land uses (202, 204, & 206 N. Fannin Street) and one (1) developed with a single-family home (305 E. Kaufman Street). All of these properties are zoned Downtown (DT) District. Beyond this is a public trail that provides access to Lofland Park.

South: Directly south of the subject property is E. Rusk Street, which is identified as a TXDOT4D (*i.e. Texas Department of Transportation, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) parcels of land, one (1) developed with a restaurant (101 N. Fannin Street), one (1) developed with a house of worship (306 E. Rusk Street), and one (1) vacant parcel. All of the properties are zoned Downtown (DT) District. Beyond this is E. Washington Street, which is identified as a TXDOT4D (*i.e. Texas Department of Transportation, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is 305 E. Rusk Street, which is a 0.45-acre parcel of land with a ~2,203 SF child development center. Beyond this is N. San Augustine Street, which is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is 401 E. Rusk Street, which is a 0.3444-acre parcel of land developed with a single-family home that is zoned Single-Family 7 (SF-7) District. Beyond this is 406 E. Kaufman Street, which is a 0.574-acre parcel of land developed with a 31,212 SF commercial building that is zoned General Retail (GR) District.

West: Directly west of the subject property is N. Fannin Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several parcels of land developed with commercial buildings that are zoned Downtown (DT) District. Beyond this is N. San Jacinto Street, which is indicated as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.





FIGURE 4: LOCATION MAP

**CHARACTERISTICS OF THE PROJECT**

In accordance with Appendix ‘D’, *Historic District Guidelines*, and the *Land Use Schedule* contained within Article 04, *Permissible Uses*, of the Unified Development Code (UDC), following the approval of the applicant’s Certificate of Appropriateness (COA) from the Historic Preservation Advisory Board (HPAB), the applicant has submitted an application for a Specific Use Permit (SUP) to allow an *Event Hall/Banquet Facility* on the subject property. Based on information provided by the applicant, the proposed *Event Hall/Banquet Facility* (i.e. *The Flat*) is located on the second floor of the *Office Building* (i.e. *The Shops at Legacy Village*) situated on the subject property. The applicant has indicated that the space for the *Event Hall/Banquet Facility* is 1,116 SF in size and is designed to host “small gatherings.” In addition, the applicant has provided a site plan that delineates the location of the *Event Hall/Banquet Facility* and identifies the number of parking spaces on the subject property.

**CONFORMANCE WITH THE CITY’S CODES**

According to Subsection 01.02, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an *Event Hall/Banquet Facility* is permitted by Specific Use Permit (SUP) in the Downtown (DT) District. In this case, the subject property is zoned Downtown (DT) District and must receive a Specific Use Permit (SUP). With this being said, the subject property is also identified as a historic *Landmark Property* and is subject to the requirements of Subsection 06.03, *Historic Overlay (HO) District*, of Article 05, *District Development Standards*, and the *Historic Guidelines* contained in Appendix ‘D’ of the Unified Development Code (UDC). Given this, the proposed *Event Hall/Banquet Facility* received approval from the Historic Preservation Advisory Board (HPAB) for a Certificate of Appropriateness (COA) (Case No. H2023-022) on December 21, 2023.

According to Table 5, *Parking Requirement Schedule*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), an *Event Hall/Banquet Facility* shall be parked at one (1) parking space per 100 SF. In this case, the applicant has indicated that the *Event Hall/Banquet Facility* is 1,116 SF and will require 12 parking spaces (i.e.  $1,116 \text{ SF} / 100 \text{ SF} = 11.16$  parking spaces). Based on the site plan provided by the applicant, there are 27 parking spaces on the subject property. Given this, the applicant will reduce the number of available parking spaces to 15 for the remainder of the building. With this being

said, the subject property also has access to public parking in front of the building along E. Rusk Street; however, these parking spaces cannot be used towards meeting the required off-street parking requirements.

## **OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the *Future Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the Downtown District and is designated for Downtown (DT) land uses. In addition, the subject property is identified as being within the *Downtown Square*. The Downtown (DT) land use designation is defined as being "... a mixture of land uses that are complementary to the existing development pattern and are intended to add to the attractive, pedestrian-oriented environment of Rockwall's historic downtown." Similarly -- according to the *District Strategies* -- the *Downtown Square* "...should be preserved as a historical mixed-use area. Adaptive reuse strategies should be employed to protect and preserve the historic architecture and significance in the district, and redevelopment should be discouraged." In this case, the proposed *Event Hall/Banquet Facility* is located within a multi-tenant *Office Building* and does not propose any changes to the exterior of the existing building. Based on this, the proposed facility appears to conform to the OURHometwon Vision 2040 Comprehensive Plan.

## **STAFF ANALYSIS**

The purpose of requiring a Specific Use Permit (SUP) for an *Event Hall/Banquet Facility* is to allow the Planning and Zoning Commission and City Council the discretion to determine whether the proposed land use will have any negative impacts on adjacent properties or within the district as a whole. Negative impacts that can be associated with *Event Hall/Banquet Facilities* are -- but are not limited to -- the hours of operation, the on-premise consumption of alcohol, and parking. Based on the business plan provided by the applicant, the proposed *Event Hall/Banquet Facility* will host small gatherings and will have limited hours that are generally within the standard 8:00 AM - 5:00 PM business day, with the exception of Monday (*i.e. an 8:00 PM closing time*), Wednesday (*i.e. a 6:30 PM closing time*), and Saturday (*which is open for events only*).

As mentioned in the *Conformance with the City's Codes* section of this case memo, the applicant is required 12 parking spaces (*i.e. 1,116 SF / 100 SF = 11.16 parking spaces*) to accommodate the proposed *Event Hall/Banquet Facility*. This would reduce the total number of available parking spaces on the subject property to 15. Staff should note that the applicant is not the only tenant within the *Office Building* on the subject property; however, the parking required for the other tenants is unknown to staff as -- until recently -- a Certificate of Occupancy (CO) was not required for *by-right* businesses unless that business had direct access to the exterior of the building. The majority of the existing businesses are offices -- which are *by-right* land uses -- that meet this requirement. That being said, as these businesses change they will require a Certificate of Occupancy (CO), at which point staff will calculate the required parking from the remaining pool of 15 parking spaces. Staff should note, that if the parking requirements cannot be met then a *Variance* to the parking requirements will need to be requested.

According to Subsection 02.02, *Specific Use Permit (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "(t)he purpose of a Specific Use Permit (SUP) is to allow discretionary consideration of certain uses that would typically be considered incompatible within certain locations of a zoning district, but may become compatible with the addition of special provisions, conditions or restrictions." In addition, "(t)he discretionary SUP procedure is designed to enable the Planning and Zoning Commission and the City Council to impose conditions upon such uses and structures that are designed to avoid, minimize or mitigate potentially adverse effects upon the community or other properties in the vicinity of the proposed use or structure, and to deny requests for a SUP when it is apparent that a proposed use or structure will or may occasionally harm the community or cause injury to the value, lawful use, and reasonable enjoyment of other properties in the vicinity of the proposed use or structure." In this case, the City Council -- following a recommendation from the *Planning and Zoning Commission* -- is being tasked with determining whether the proposed *Event Hall/ Banquet Facility* will have any negative impacts on adjacent properties.

## **NOTIFICATIONS**

On December 19, 2023, staff notified 145 property owners and occupants within 500-feet of the subject property. Staff also notified the Bent Creek Condos Homeowner's Association (HOA), which is the only Homeowners' Association (HOAs) and/or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as

required by the Unified Development Code (UDC). At the time this report was drafted, staff has not received any responses in favor or opposition of the applicant's request.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for an *Event Hall/Banquet Facility* on the subject property, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) The proposed *Event Hall/Banquet Facility* shall be limited to the area depicted in *Exhibit 'B'* of the Specific Use Permit (SUP) ordinance.
  - (b) The proposed *Event Hall/Banquet Facility* shall apply for and receive a Certificate of Occupancy (CO) upon approval of the proposed Specific Use Permit (SUP).
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
  - SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1&2</sup> \$215.00
  - PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- OTHER APPLICATION FEES:**
- TREE REMOVAL (\$75.00)
  - VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

**NOTES:**

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

303. E Rusk Rockwall, TX 75087

SUBDIVISION

LOT

BLOCK

GENERAL LOCATION

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE

LOTS [CURRENT]

LOTS [PROPOSED]

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

HIS Covenant Children

APPLICANT

CONTACT PERSON

Annette Lall

CONTACT PERSON

Pare Underwood

ADDRESS

102 N Fannin

ADDRESS

11644 CR 536

CITY, STATE & ZIP

Rockwall, TX 75087

CITY, STATE & ZIP

Rockwall, TX 75087

PHONE

214-543-2807

PHONE

214-675-8507

E-MAIL

legacyvillage@rockwall.net

E-MAIL

pare@justaskpare.com

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Annette Lall [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17 DAY OF November, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

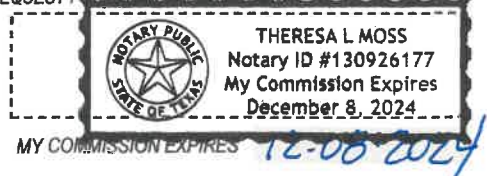
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF November, 2023

OWNER'S SIGNATURE

Annette Lall

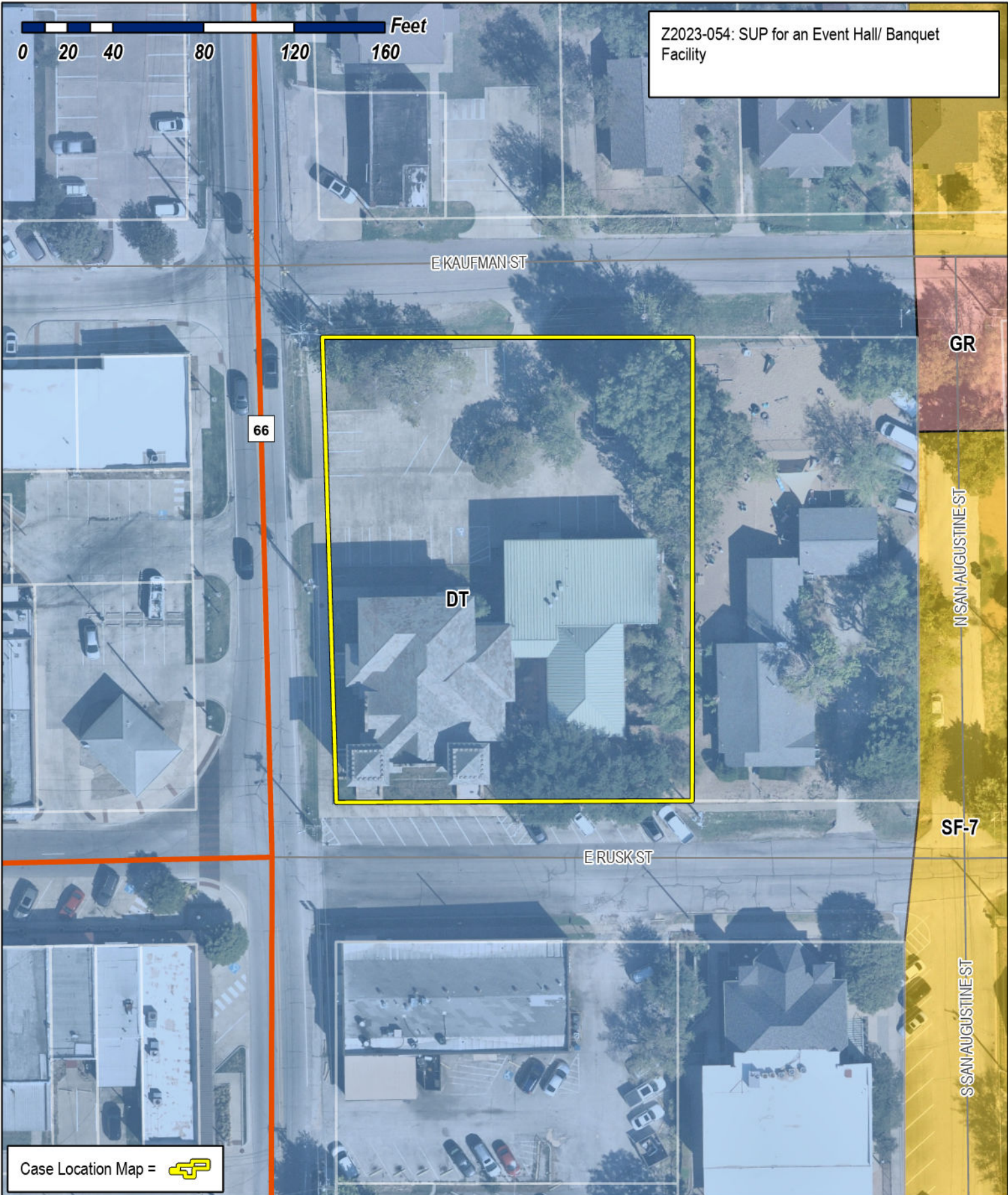
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Theresa L Moss





Z2023-054: SUP for an Event Hall/ Banquet Facility



66

E KAUFMAN ST

DT

GR

N SAN AUGUSTINE ST

SF-7

E RUSK ST

S SAN AUGUSTINE ST

Case Location Map =



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

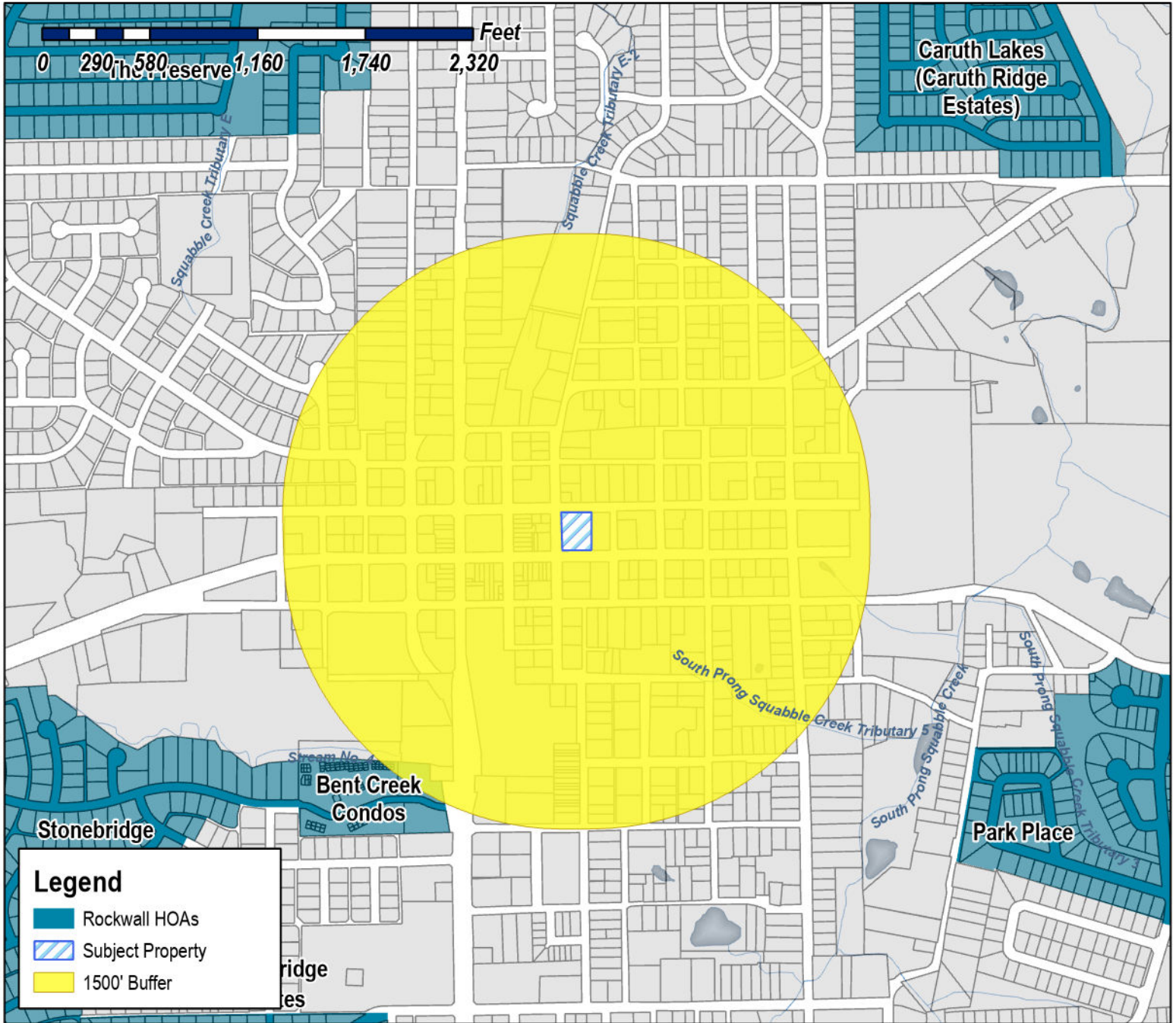




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**Case Number:** Z2023-054  
**Case Name:** SUP for an Event Hall/  
 Banquet Facility  
**Case Type:** Zoning  
**Zoning:** Downtown (DT) District  
**Case Address:** 303 E. Rusk Street

**Date Saved:** 12/13/2023  
 For Questions on this Case Call (972) 771-7745



## Lee, Henry

---

**From:** Zavala, Melanie  
**Sent:** Tuesday, December 19, 2023 10:16 AM  
**Cc:** Miller, Ryan; Guevara, Angelica; Lee, Henry  
**Subject:** Neighborhood Notification Program [Z2023-054]  
**Attachments:** Public Notice (P&Z).pdf; HOA Map (12.14.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *Friday December 22, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, January 9, 2024 at 6:00 PM*, and the City Council will hold a public hearing on *Tuesday, January 16, 2024 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2023-054:SUP for an Event Hall/ Banquet Facility**

*Hold a public hearing to discuss and consider a request by Pare Underwood on behalf of Annette Lall of HIS Covenant Children, Inc. for the approval of a Specific Use Permit (SUP) for an Event Hall/Banquet Facility on a 0.689-acre tract of land identified as Lots A & B, Block 2, Griffith Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 303 E. Rusk Street, and take any action necessary.*

Thank you,

***Melanie Zavala***

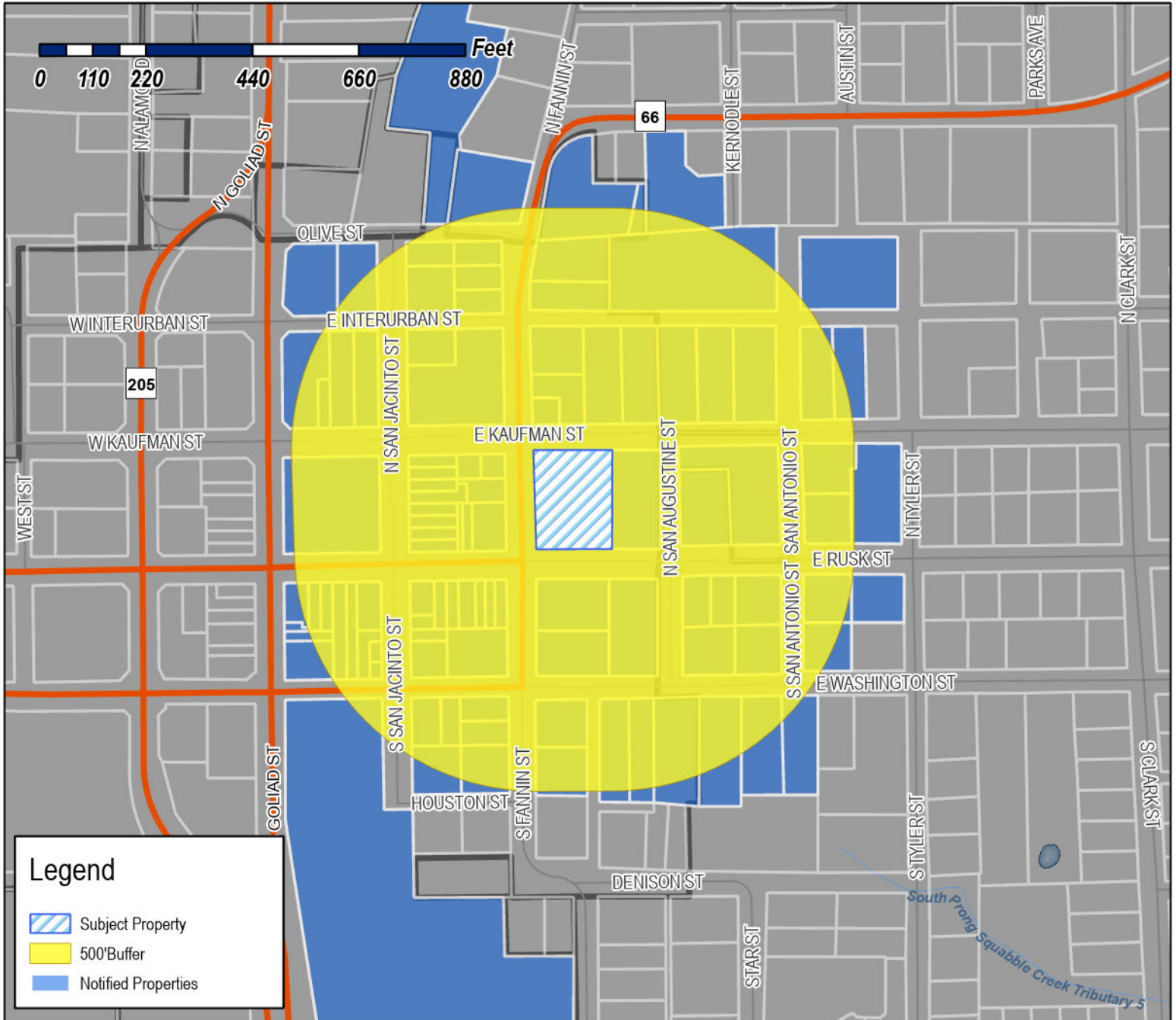
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
<http://www.rockwall.com/>  
972-771-7745 Ext. 6568



# City of Rockwall

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385 S. Goliad Street  
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(P): (972) 771-7745  
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**Case Number:** Z2023-054  
**Case Name:** SUP for an Event Hall/  
 Banquet Facility  
**Case Type:** Zoning  
**Zoning:** Downtown (DT) District  
**Case Address:** 303 E. Rusk Street

**Date Saved:** 12/13/2023

For Questions on this Case Call: (972) 771-7746





RESIDENT  
101 E RUSK  
ROCKWALL, TX 75087

RESIDENT  
101 N FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
101 S FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
102 E RUSK  
ROCKWALL, TX 75087

HIS COVENANT CHILDREN INC  
102 N FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
102 N SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
102 S FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
103 N FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
103 S SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
104 N SAN JACINTO  
ROCKWALL, TX 75087

LOFLAND WILLIAM B  
105 E KAUFMAN ST  
ROCKWALL, TX 75087

RESIDENT  
105 N FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
106 SAN JACINTO  
ROCKWALL, TX 75087

SKY 306 E WASHINGTON SERIES LLC  
106 E RUSK SUITE 200  
ROCKWALL, TX 75087

SKY 106 E RUSK SERIES LLC  
106 E RUSK SUITE 200  
ROCKWALL, TX 75087

SKY 101 S FANNIN SERIES LLC  
106 E RUSK SUITE 200  
ROCKWALL, TX 75087

SKY 111-115 S GOLIAD SERIES LLC  
106 E RUSK SUITE 200  
ROCKWALL, TX 75087

SITST 114 E RUSK SERIES LLC  
106 E RUSK SUITE 200  
ROCKWALL, TX 75087

SKY 2- 109 S GOLIAD SERIES LLC, A SERIES OF  
SKY ASSET HOLDINGS 2 LLC  
106 E RUSK STREET SUITE 200  
ROCKWALL, TX 75087

RESIDENT  
106 S SAN JACINTO  
ROCKWALL, TX 75087

HOOKER ROBERT AND KELLIE  
10653 COUNTY ROAD 1141  
TYLER, TX 75709

RESIDENT  
107 E KAUFMAN  
ROCKWALL, TX 75087

RESIDENT  
107 S GOLIAD  
ROCKWALL, TX 75087

GMDR PROPERTIES LLC  
107 S SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
108 FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
108 E RUSK  
ROCKWALL, TX 75087

KUPPER LEROY J ET UX  
108 ELM CREST DR  
ROCKWALL, TX 75087

RESIDENT  
108 N SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
108 S SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
109 E KAUFMAN  
ROCKWALL, TX 75087

RESIDENT  
109 E WASHINGTON  
ROCKWALL, TX 75087

112 E RUSK ST LLC  
109 ELM CREST DR  
ROCKWALL, TX 75087

RESIDENT  
109 S GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
110 E RUSK  
ROCKWALL, TX 75087

RESIDENT  
110 N SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
112 E RUSK  
ROCKWALL, TX 75087

RESIDENT  
112 N SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
114 E RUSK  
ROCKWALL, TX 75087

RESIDENT  
114 N SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
115 S GOLIAD  
ROCKWALL, TX 75087

RESIDENT  
116 E RUSK  
ROCKWALL, TX 75087

RESIDENT  
116 N SAN JACINTO  
ROCKWALL, TX 75087

ANDERSON LORETTA  
1208 S LAKESHORE DR  
ROCKWALL, TX 75087

RAC OF ROCKWALL LLC  
1220 CRESTCOVE  
ROCKWALL, TX 75087

RAC OF ROCKWALL LLC  
1220 CRESTCOVE  
ROCKWALL, TX 75087

DIVINE PEACE EVANGELICAL LUTHERAN  
CHURCH  
A TEXAS NON-PROFIT CORPORATION  
1346 PLEASANT VALLEY ROAD  
GARLAND, TX 75040

HEFFERNAN MARILYN  
1480 BLUEBELL DRIVE  
ESTES PARK, CO 80517

FOX WILLIAM G & ALISON L  
1601 BAY CREST TRL  
HEATH, TX 75032

JS2 PROPERTIES LLC  
1717 MAIN STREET SUITE 2950  
DALLAS, TX 75201

ARISTA KAUFMAN LLC  
1717 MAIN STREET SUITE 2950  
DALLAS, TX 75201

MORGAN MARY FRANCES COLEY  
180 SAN ANTONIO STREET  
ROCKWALL, TX 75087

RESIDENT  
201 OLIVE ST  
ROCKWALL, TX 75087

COMMUNITY BANK  
201 E KAUFMAN ST  
ROCKWALL, TX 75087

ROBERSON RAY ETUX  
201 E WASHINGTON  
ROCKWALL, TX 75087

Z ROCK BUILDING LLC  
202 E RUSK ST  
ROCKWALL, TX 75087

RESIDENT  
202 E WASHINGTON  
ROCKWALL, TX 75087

RESIDENT  
202 N FANNIN ST  
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP  
202 NORTH SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
203 S FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
203 S FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
204 E KAUFMAN  
ROCKWALL, TX 75087

RESIDENT  
204 N FANNIN ST  
ROCKWALL, TX 75087

WILLESS LADONA  
204 S FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
205 S SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
206 E WASHINGTON ST  
ROCKWALL, TX 75087

RESIDENT  
206 N FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
206.5 E RUSK  
ROCKWALL, TX 75087

HALL J BLAKELEY  
207 E RUSK ST  
ROCKWALL, TX 75087

RESIDENT  
210 E RUSK  
ROCKWALL, TX 75087

RESIDENT  
210 E WASHINGTON  
ROCKWALL, TX 75087

RESIDENT  
212 E RUSK  
ROCKWALL, TX 75087

RESIDENT  
213 E RUSK  
ROCKWALL, TX 75087

TURNER V H  
214 E RUSK  
ROCKWALL, TX 75087

WELLS LEE E & LYNDA S  
2146 HARRELL STREET  
GREENVILLE, TX 75402

RESIDENT  
216 E RUSK  
ROCKWALL, TX 75087

RESIDENT  
301 N FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
301 N SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
302 N FANNIN ST  
ROCKWALL, TX 75087

JOY LUTHERAN CHURCH  
302 N GOLIAD ST  
ROCKWALL, TX 75087

BRUCE DANA G & JEANNE L  
302 N SAN JACINTO ST  
ROCKWALL, TX 75087

RESIDENT  
303 E RUSK  
ROCKWALL, TX 75087

RESIDENT  
304 N SAN JACINTO  
ROCKWALL, TX 75087

KRONTZ CHRISTIAN MICHAEL & JILLIAN ABIGAIL  
WRIGHT  
305 E KAUFMAN ST  
ROCKWALL, TX 75087

ERUDITE INCORPORATED  
305 E RUSK ST  
ROCKWALL, TX 75087

RESIDENT  
305 N FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
306 WILLIAMS ST  
ROCKWALL, TX 75087

TRINITY HARBOR CHURCH  
306 E RUSK ST  
ROCKWALL, TX 75087

RESIDENT  
306 E WASHINGTON  
ROCKWALL, TX 75087

RESIDENT  
306 N FANNIN ST  
ROCKWALL, TX 75087

WILLESS JAMES L  
307 E KAUFMAN ST  
ROCKWALL, TX 75087

RESIDENT  
307 N FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
308 FANNIN  
ROCKWALL, TX 75087

RESIDENT  
308 E WASHINGTON  
ROCKWALL, TX 75087

PATRICIA A MAY LIVING TRUST  
PATRICIA A MAY - TRUSTEES  
308 WILLIAMS ST  
ROCKWALL, TX 75087

ESTATE OF CHARLES W FALLS  
DAVID CHARLES FALLS, EXECUTOR  
309 ROOKERY CT  
MARCO ISLAND, FL 34145

HUMPHREY GARY B ET UX  
310 E WASHINGTON ST  
ROCKWALL, TX 75087

BONFANTE VITTORIO & ANGELA  
3111 ANNETTE CT  
GARLAND, TX 75044

CITY OF ROCKWALL  
ATTN:MARY SMITH  
385 S GOLIAD ST  
ROCKWALL, TX 75087

KMA LLC  
401 COUNTRY RIDGE RD  
ROCKWALL, TX 75087

GODINEZ RAUL K AND  
MAGDALENA M GALVAN-DIAZ  
401 E KAUFMAN ST  
ROCKWALL, TX 75087

WELCH DAVID T & TERRY E  
401 E WASHINGTON STREET  
ROCKWALL, TX 75087

WEST CHRISTOPHER AND  
KATHERINE ROWE  
401 EAST RUSK  
ROCKWALL, TX 75087

RESIDENT  
401 N FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
402 E RUSK  
ROCKWALL, TX 75087

KILPATRICK KENDRA  
402 E WASHINGTON ST  
ROCKWALL, TX 75087

KNIGHT MOONEY VICKIE SUE  
& HERMAN KNIGHT  
403 E KAUFMAN ST  
ROCKWALL, TX 75087

RESIDENT  
404 E RUSK  
ROCKWALL, TX 75087

COLSON BETTY  
404 E WASHINGTON  
ROCKWALL, TX 75087

RESIDENT  
405 E KAUFMAN ST  
ROCKWALL, TX 75087

SALVADOR MARY PEARL  
405 E WASHINGTON  
ROCKWALL, TX 75087

RESIDENT  
406 E KAUFMAN  
ROCKWALL, TX 75087

RESIDENT  
406 E RUSK  
ROCKWALL, TX 75087

RESIDENT  
406 E WASHINGTON  
ROCKWALL, TX 75087

BOSS MORRIS E & DEBRA KAY  
408 RIDGEVIEW DR  
ROCKWALL, TX 75087

SHIPLEY ZACHARY S AND  
JASON SHIPLEY  
412 RENFRO ST  
ROCKWALL, TX 75087

RUTH DIANE RUSSELL TRUST  
RUTH DIANE RUSSELL- TRUSTEE  
43 PINEAPPLE DR  
PALM COAST, FL 32164

CM FANNIN I LP  
4514 TRAVIS ST STE 326  
DALLAS, TX 75205

BARTON SHANNON G  
501 E. KAUFMAN  
ROCKWALL, TX 75087

TAMEZ PEDRO ET EX  
502 E RUSK ST  
ROCKWALL, TX 75087

SMITH ROBERT & MARY SUE  
502 W RUSK ST  
ROCKWALL, TX 75087

RICHARDSON CATHERINE E AND TRENTON R  
503 E KAUFMAN  
ROCKWALL, TX 75087

ARCHER KERRY ANNE  
503 E RUSK ST  
ROCKWALL, TX 75087

RESIDENT  
503 E WASHINGTON  
ROCKWALL, TX 75087

BIRKENBACK JOSSEPH M & OLGA M  
506 E RUSK ST  
ROCKWALL, TX 75087

WEBB RODNEY D AND FRAN W  
507 E RUSK ST  
ROCKWALL, TX 75087

GRAY PEGGY JO  
521 KATHY DR  
MESQUITE, TX 75149

CAIN CHAD  
5705 ALLEN LN  
ROWLETT, TX 75088

ROCKWALL 4 LLC  
5818 PORTSMOUTH LANE  
DALLAS, TX 75252

HENDRICKS 7 PROPERTIES LLC SERIES 2  
5903 VOLUNTEER PLACE  
ROCKWALL, TX 75032

ODOM JAY & ALISON  
601 N FANNIN ST  
ROCKWALL, TX 75087

PEOPLES BILLY W JR  
614 COVEY TRL  
ROCKWALL, TX 75087

ROY LAWRENCE HANCE JR TRUST  
ROY LAWRENCE HANCE JR- TRUSTEE  
6946 SPERRY STREET  
DALLAS, TX 75214

J-PEG PROPERTIES LLC  
704 N GOLIAD  
ROCKWALL, TX 75087

KING PACIFIC INC  
8100 GREENSBORO DR  
PLANO, TX 75025

ROBERT COOK ESTATE  
C/O ALICIA COOK  
901 PIONEER ROAD  
MESQUITE, TX 75149

WALKER TOM  
902 LAKE MEADOWS DR  
ROCKWALL, TX 75087

JO SUNGRAE  
960 MIDNIGHT PASS  
ROCKWALL, TX 75087

SOUTHWESTERN BELL TELEPHONE CO  
ATTN: PROPERTY TAX DEPT 1010 PINE, 9E-L-01  
ST. LOUIS, MO 63101

COUNTY OF ROCKWALL  
COURTHOUSE  
ROCKWALL, TX 75087

CAIN REVOCABLE FAMILY TRUST AND  
CREDIT SHELTER TRUST AND SURVIVORS TRUST  
DEWAYNE CAIN TRUSTEE 305 STONEBRIDGE DR  
ROCKWALL, TX 75087

ROCK N' ROLL REALTY LLC  
PO BOX 2571  
ROCKWALL, TX 75087

CHRIST FOR INDIA  
PO BOX 271086  
DALLAS, TX 75227

ROCKWALL LIONS CLUB  
C/O OLIVER R SPILLER  
PO BOX 663  
ROCKWALL, TX 75087

COLLIN-G PROPERTIES LTD  
PO BOX 847  
ROCKWALL, TX 75087

RUTH DOWER LIVING TRUST DATED JUNE 3,  
2014  
RUTH DOWER TRUSTEE  
PO BOX 871239  
MESQUITE, TX 75187

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-054: SUP for an Event Hall/ Banquet Facility**

Hold a public hearing to discuss and consider a request by Pare Underwood on behalf of Annette Lall of HIS Covenant Children, Inc. for the approval of a *Specific Use Permit (SUP)* for an *Event Hall/Banquet Facility* on a 0.689-acre tract of land identified as Lots A & B, Block 2, Griffith Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 303 E. Rusk Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 16, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 16, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2023-054: SUP for an Event Hall/ Banquet Facility**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

We benefit directly from having this event space close to our church and believe the entire Rockwall community is served well by its non profit and private events. There has been no disruption to noise, parking or utilities as the events are quite small.

Name: Redeemer Church Rockwall Staff: Matt Fuqua, Zach Pummill, Ricky

Address: 306 E. Rusk. St.

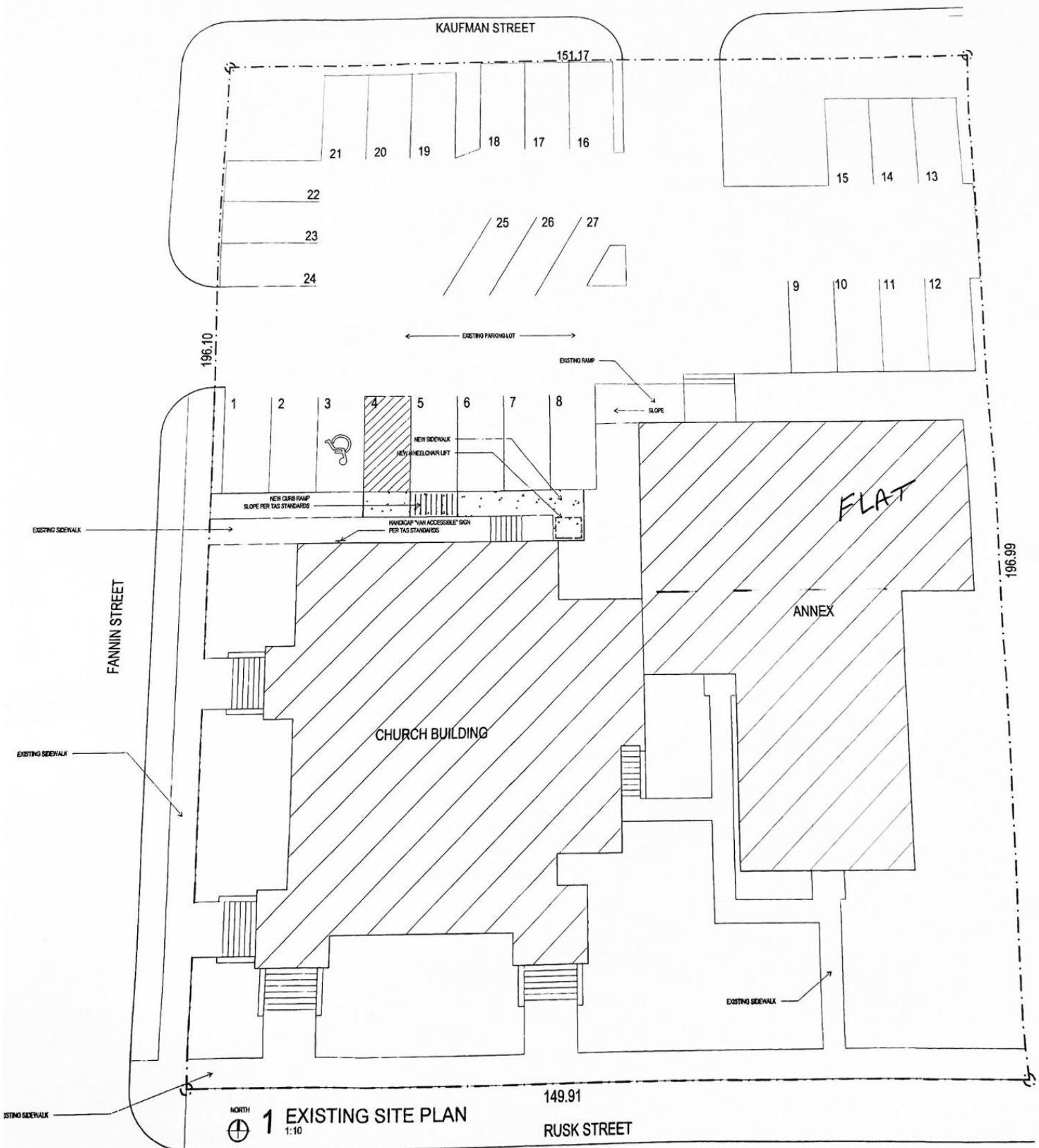
Allegetto, Julie Meyer, Mary Tombs  
Stacy Fuqua, Jennifer Percy

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# THE FLAT

## FLOOR PLAN

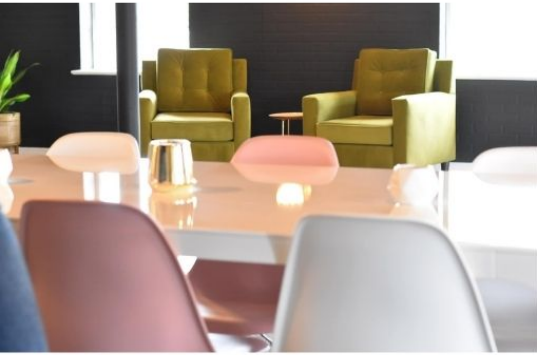


NORTH  
 1 EXISTING SITE PLAN  
 1:10



# THE FLAT

DOWNTOWN ROCKWALL



## ABOUT US

Located in the heart of downtown Rockwall, The Flat is a charming and cozy spot perfect for small gatherings. Our space is designed to provide women a welcoming & intimate environment to celebrate special life milestones, such as showers, small studies, workshops, and mentorship. Additionally, we offer our space to non-profits for a discounted rate and local businesses for brand photoshoot sessions. The Flat is also home to our partner, Choose To Soar, a local non-profit dedicated to equipping women to lead, grow, and become all God intended.

## Our Mission

Haley Crespo, the cofounder of Skin Envy, and Paré Underwood, a licensed professional counselor, bonded over their mutual passion for supporting and empowering women. Together, they created The Flat with the idea that women are amazing and desire connection, fellowship, and creativity. They soon partnered with Tanya Magnus, the founder of Choose to Soar Ministries. With God as their foundation, these three dedicated women have cultivated the perfect spot for women to connect, celebrate, and grow in fellowship and faith.





# CHOOSE TO SOAR

EQUIPPING, EMPOWERING & ENCOURAGING WOMEN



## ABOUT US

Housed within the Flat, Choose to Soar Ministries equips and empowers women with biblical principles to be all God intended. Their weekly studies, weekend, and one-day training's, were attended by over 245 women in the community. These women are equipped and prepared to better serve their families, community, and church.

## WHAT WE OFFER

- Weekly Bible Study
- Encounter Weekends
- Prayer Room
- Resource Room containing free biblical and faith based material
- Mentoring & Coaching

### Hours of Operation

Mon: 8:30 am - 8 pm

Tues: 8:30 am - 5 pm

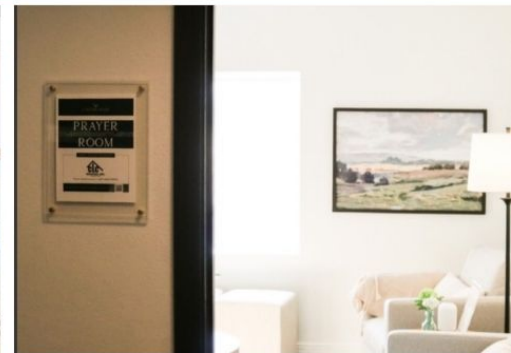
Wed: 8:30 am - 6:30 pm

Thurs: 8:30 am - 3 pm

Fri: Closed

Sat: Events Only

Sun: Closed



# Our Local Partners



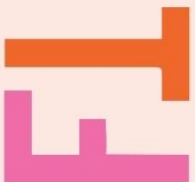
## NON-PROFITS

- Poiema Foundation for Sex Trafficking Awareness
- Meals on Wheels
- Women in Need
- Crosspoint Community Church
- Redeemer Church
- Providence Academy
- Rockwall Non-Profit Day
- Weekly Women's Power Hour
- Aspasians
- Amica
- Rockwall Republican Women
- Rockwall Women in Business



## LOCAL BUISNESSES

- Community Counselors
- Ami Kristin Studio
- Ollie Marie Boutique
- Living Magazine
- Kim Bentley

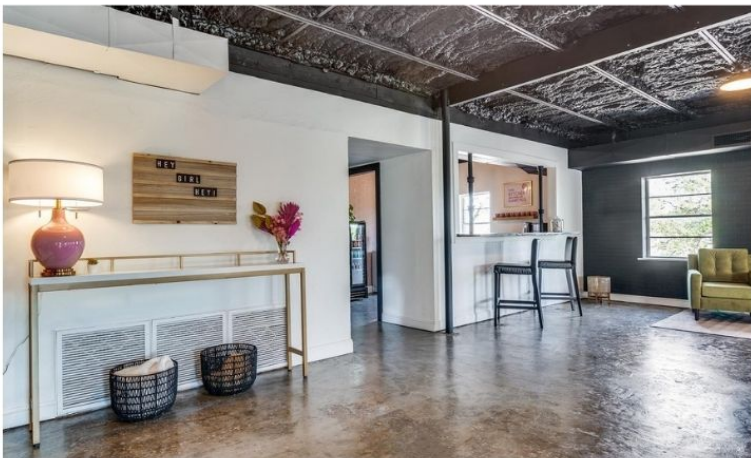
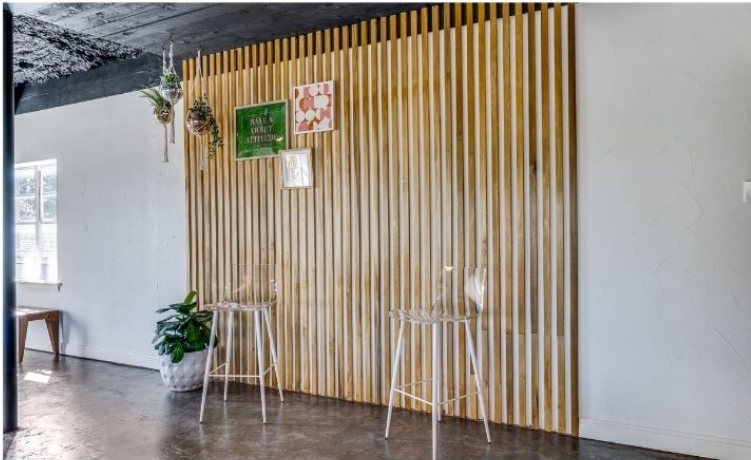


# About the Space



303 E. Rusk Street,  
Rockwall, TX 75087

Just up the stairs awaits our quaint spot designed to accommodate small gatherings and make women feel right at home!





# CITY OF ROCKWALL

## HISTORIC PRESERVATION ADVISORY BOARD CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

**TO:** Historic Preservation Advisory Board

**DATE:** December 21, 2023

**APPLICANT:** Pare Underwood and Haley Crespo

**CASE NUMBER:** H2023-022; *Certificate of Appropriateness (COA) for 303 E. Rusk Street*

### SUMMARY

Hold a public hearing to discuss and consider a request by Pare Underwood and Haley Crespo on behalf of Annette Lall of HIS Covenant Children, Inc. for the approval of a Certificate of Appropriateness (COA) for an *Event Hall/Banquet Facility* in a *Landmark Property* being a 0.689-acre tract of land identified as a portion of Lots A & B, Block 2, Griffith Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 303 E. Rusk Street, and take any action necessary.

### BACKGROUND

The subject property was annexed prior to 1900 based on the October 1900 Sanborn Maps. According to the Rockwall Central Appraisal District (RCAD), existing on the subject property are a 3,980 SF *Office Building* and a 4,209 SF *House of Worship*. The *House of Worship* was constructed in 1910, and -- based on the 1934 Sanborn Maps -- the *Office Building* was constructed after 1934.

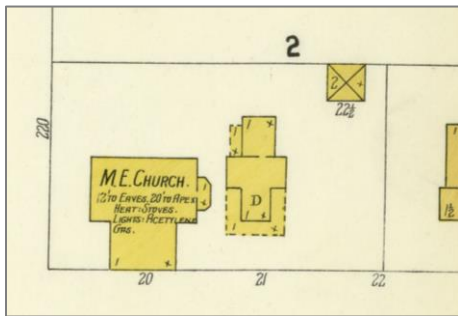


FIGURE 1: 1900 SANBORN MAPS

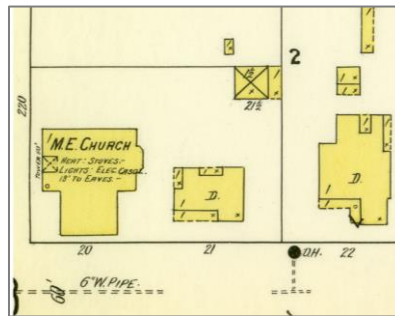


FIGURE 2: 1911 SANBORN MAPS

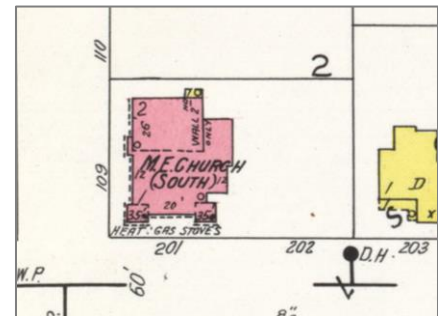


FIGURE 3: 1934 SANBORN MAPS

On August 21, 2003, the Historic Preservation Advisory Board (HPAB) established the subject property as a *Landmark Property*. Staff should note that the *Landmark Property* status generally applies to the *House of Worship* portion of the building. That being said, the *Landmark Property* status affects the entire property, meaning the *Office Building* is subject to the requirements of Appendix 'D', *Historic Preservation Guidelines*, of the Unified Development Code (UDC). The subject property was also placed on the *National Register of Historic Places* in 2007.

Staff should note that this case was a Neighborhood Improvement Services (NIS) referral based on an active zoning violation case (*Case No. CE2023-5818*). It was brought to staff's attention that an *Event Hall/Banquet Facility* was operating without a Certificate of Occupancy (CO) within the *Office Building*. Staff should note that the applicant began operating before the City of Rockwall changed the Certificate of Occupancy (CO) requirements to require all businesses -- regardless if they have direct access to the exterior of the building -- to get a Certificate of Occupancy (CO). The zoning violation arose due to the *Event Hall/Banquet Facility* land use only being permitted through a Specific Use Permit (SUP) in the Downtown (DT) District. In this case, the Historic Preservation Advisory Board (HPAB) must review the case and take action on a Certificate of Appropriateness (COA) for the proposed land use, before the Specific Use Permit (SUP) may be reviewed by the Planning and Zoning Commission and City Council.

## **PURPOSE**

The applicant is requesting approval of a Certificate of Appropriateness (COA) for the purpose of allowing an *Event Hall/Banquet Facility* on the subject property.

## **ADJACENT LAND USES AND ACCESS**

The subject property is located at 303 E. Rusk Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is E. Kaufman Street, which is identified as a *R2 (i.e. residential, two [2] lane, undivided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are four (4) parcels of land, three (3) developed with commercial land uses (*202, 204, & 206 N. Fannin Street*) and one (1) developed with a single-family home (*305 E. Kaufman Street*). All of these properties are zoned Downtown (DT) District. Beyond this is a public trail that provides access to Lofland Park.

South: Directly south of the subject property is E. Rusk Street, which is identified as a *TXDOT4D (i.e. Texas Department of Transportation, four [4] lane, divided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) parcels of land, one (1) developed with a restaurant (*101 N. Fannin Street*), one (1) developed with a house of worship (*306 E. Rusk Street*), and one (1) vacant parcel. All of the properties are zoned Downtown (DT) District. Beyond this is E. Washington Street, which is identified as a *TXDOT4D (i.e. Texas Department of Transportation, four [4] lane, divided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is 305 E. Rusk Street, which is a 0.45-acre parcel of land with a ~2,203 SF child development center. Beyond this is N. San Augustine Street, which is identified as a *R2 (i.e. residential, two [2] lane, undivided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is 401 E. Rusk Street, which is a 0.3444-acre parcel of land developed with a single-family home that is zoned Single-Family 7 (SF-7) District. Beyond this is 406 E. Kaufman Street, which is a 0.574-acre parcel of land developed with a 31,212 SF commercial building that is zoned General Retail (GR) District.

West: Directly west of the subject property is N. Fannin Street, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are several parcels of land developed with commercial buildings that are zoned Downtown (DT) District. Beyond this is N. San Jacinto Street, which is indicated as a *R2 (i.e. residential, two [2] lane, undivided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.



FIGURE 4: LOCATION MAP

**CHARACTERISTICS OF THE PROJECT**

In accordance with Appendix ‘D’, *Historic District Guidelines*, and the *Land Use Schedule* contained within Article 04, *Permissible Uses*, of the Unified Development Code (UDC), the applicant has submit an application for a Certificate of Appropriateness (COA) to allow an *Event Hall/Banquet Facility* on the subject property. Based on information provided by the applicant the proposed *Event Hall/Banquet Facility* (i.e. *The Flat*) is located on the second floor of the *Office Building* (i.e. *The Shops at Legacy Village*) located on the subject property. The applicant has indicated that the space is 1,116 SF in size and is designed to host “small gatherings.” In addition, the applicant has provided a site plan that delineates the location of the *Event Hall/Banquet Facility* and identifies the number of parking spaces on the subject property.

**CONFORMANCE TO THE HISTORIC DISTRICT GUIDELINES & CITY’S CODES**

According to Subsection 01.02, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an *Event Hall/Banquet Facility* is permitted by Specific Use Permit (SUP) in the Downtown (DT) District. In this case, the subject property is zoned Downtown (DT) District and must received a Specific Use Permit (SUP). With this being said, the subject property is also identified as a historic *Landmark Property* and is subject to the requirements of Subsection 06.03, *Historic Overlay (HO) District*, of Article 05, *District Development Standards*, and the *Historic Guidelines* contained in Appendix ‘D’ of the Unified Development Code (UDC). Given this, the proposed *Event Hall/Banquet Facility* must also receive a Certificate of Appropriateness (COA) in accordance with Subsection 06.03(G)(6) of Article 05, *District Development Standards*, of the Unified Development Code (UDC), which states that a public hearing with the Historic Preservation Advisory Board (HPAB) is required before a decision can be made on a zoning recommendation. All that being said, the applicant must receive a recommendation of approval from the Historic Preservation Advisory Board (HPAB) for a Certificate of Appropriateness (COA) for the *Event Hall/Banquet Facility* before the applicant may seek approval of a Specific Use Permit (SUP) from the Planning and Zoning Commission and City Council.

According to Table 5, *Parking Requirement Schedule*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), an *Event Hall/Banquet Facility* shall be parked at one (1) parking space per 100 SF. In this case, the applicant has

indicated that the *Event Hall/Banquet Facility* is 1,116 SF and will require 12 parking spaces (*i.e.* 1,116 SF / 100 SF = 11.16 parking spaces). Based on the site plan provided by the applicant, there are 27 parking spaces on the subject property. Given this, the applicant will reduce the number of available parking spaces to 15 for the remainder of the building. With this being said, the subject property also has access to a public parking in front of the building along E. Rusk Street; however, these parking spaces cannot be used towards the required off-street parking requirements.

According to Subsection 06.03(G)(5), *Standards of Approval*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “the Historic Preservation Advisory Board (HPAB) must approve the application for a Certificate of Appropriateness if it determines that ... the application will not adversely affect the character of the site; and the proposed work is consistent with the regulations contained in this section and proposed preservation criteria ...” In this case, the applicant’s request does not appear to have an adverse effect on the existing *Landmark Property* or any of the adjacent properties; however, the approval of a Certificate of Appropriateness (COA) is a discretionary decision for the Historic Preservation Advisory Board (HPAB).

### **NOTIFICATIONS**

On December 12, 2023, staff notified 27 property owners and occupants within 200-feet of the subject property. At the time this report was written, staff had not received any notices regarding the applicant’s request.

### **CONDITIONS OF APPROVAL**

If the Historic Preservation Advisory Board (HPAB) chooses to approve the request for a *Certificate of Appropriateness (COA)*, staff would propose the following conditions of approval:

- (1) Any construction resulting from the approval of this request shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.





# HISTORIC PRESERVATION ADVISORY BOARD APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

CASE NUMBER: [REDACTED]

**NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR HAS SIGNED BELOW.**

DIRECTOR OF PLANNING: [REDACTED]

DATE RECEIVED: [REDACTED]

RECEIVED BY: [REDACTED]

### APPLICATION:

- CERTIFICATE OF APPROPRIATENESS (COA)
- LOCAL LANDMARK EVALUATION & DESIGNATION
- BUILDING PERMIT WAIVER & REDUCTION PROGRAM
- SMALL MATCHING GRANT APPLICATION

### SPECIAL DISTRICTS [SELECT APPLICABLE]:

- OLD TOWN ROCKWALL HISTORIC (OTR) DISTRICT
- PLANNED DEVELOPMENT DISTRICT 50 (PD-50)
- SOUTHSIDE RESIDENTIAL NEIGHBORHOOD OVERLAY (SRO) DISTRICT
- DOWNTOWN (DT) DISTRICT

### CONTRIBUTING STATUS [SELECT APPLICABLE]:

- LANDMARKED PROPERTY
- HIGH CONTRIBUTING PROPERTY
- MEDIUM CONTRIBUTING PROPERTY
- LOW CONTRIBUTING PROPERTY
- NON-CONTRIBUTING PROPERTY

### CURRENT LAND USE OF THE SUBJECT PROPERTY:

- RESIDENTIAL
- COMMERCIAL

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 303 E. RUSK ST. ROCKWALL, TX 75087

SUBDIVISION \_\_\_\_\_ LOT \_\_\_\_\_ BLOCK \_\_\_\_\_

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

IS THE OWNER OF THE PROPERTY THE PRIMARY CONTACT?  YES  NO

APPLICANT(S) IS/ARE:  OWNER  TENANT  NON-PROFIT  RESIDENT

CHECK THIS BOX IF OWNER AND APPLICANT ARE THE SAME.

OTHER, SPECIFY: \_\_\_\_\_

OWNER(S) NAME Has Covenant Children

APPLICANT(S) NAME Charming Events

ADDRESS 102 N FURNER ST

ADDRESS Pare Underwood / Haley

PHONE Rockwall, TX 75087  
214-543-2807

PHONE 214-675-8507  
Crispo

E-MAIL Legacy Village - rock @ att.net

E-MAIL events@theflat  
downtown.com

### SCOPE OF WORK/REASON FOR EVALUATION REQUEST [PLEASE PRINT]

CONSTRUCTION TYPE [CHECK ONE]:

- EXTERIOR ALTERATION
- NEW CONSTRUCTION
- ADDITION
- DEMOLITION
- RELOCATIONS
- OTHER, SPECIFY: \_\_\_\_\_

ESTIMATED COST OF CONSTRUCTION/DEMOLITION OF THE PROJECT (IF APPLICABLE): \$ \_\_\_\_\_

**PROJECT DESCRIPTION.** IN THE SPACE PROVIDED BELOW OR ON A SEPARATE SHEET OF PAPER, DESCRIBE IN DETAIL THE WORK THAT WILL BE PERFORMED ON SITE. FOR LOCAL LANDMARK EVALUATION & DESIGNATION REQUESTS INDICATE ANY ADDITIONAL INFORMATION YOU MAY HAVE CONCERNING THE PROPERTY, HISTORY, SIGNIFICANCE, PRESENT CONDITIONS, STATUS, CURRENT OR PAST USE(S), ETC. STAFF RECOMMENDS THAT PHOTOGRAPHS OF THE INTERIOR AND EXTERIOR OF THE PROPERTY ARE SUBMITTED WITH THIS APPLICATION.

[REDACTED]

### OWNER & APPLICANT STATEMENT [ORIGINAL SIGNATURES REQUIRED]

I ACKNOWLEDGE THAT I HAVE READ THIS APPLICATION AND THAT ALL INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE. FURTHERMORE, I UNDERSTAND THAT IT IS NECESSARY FOR ME OR A REPRESENTATIVE TO BE PRESENT AT A PUBLIC HEARING FOR THIS CASE TO BE APPROVED.

OWNER'S SIGNATURE [Signature]

APPLICANT'S SIGNATURE [Signature]



# City of Rockwall

Planning & Zoning Department  
 385 S. Goliad Street  
 Rockwall, Texas 75087  
 (P): (972) 771-7745  
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

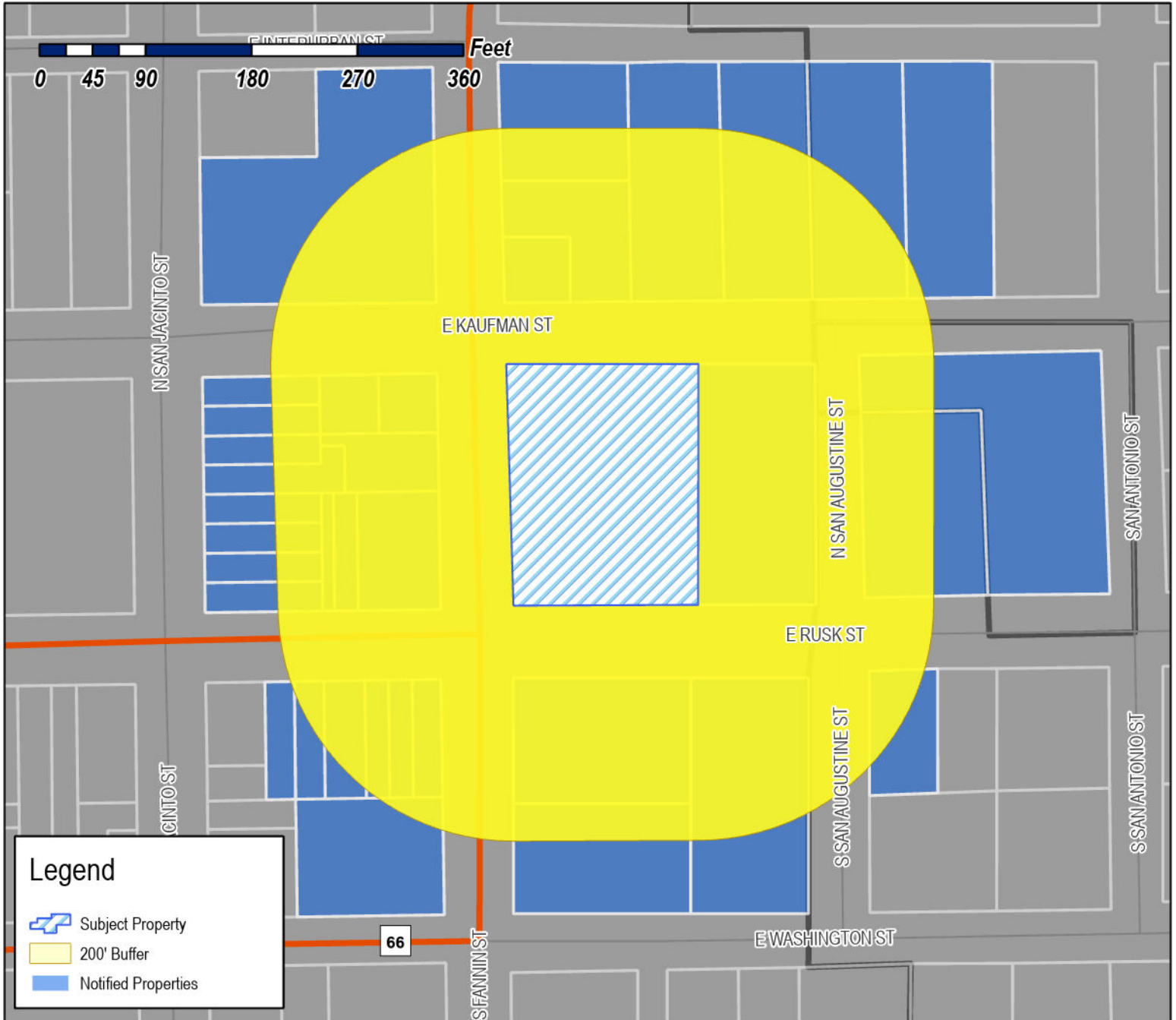




# City of Rockwall

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**Legend**

- Subject Property
- 200' Buffer
- Notified Properties

**Case Number:** H2023-022  
**Case Name:** Certificate of Appropriateness for 303 E. Rusk Street  
**Case Type:** Historic  
**Zoning:** Downtown (DT) District  
**Case Address:** 303 E. Rusk Street

**Date Saved:** 12/8/2023  
 For Questions on this Case Call: (972) 771-7746



RESIDENT  
101 N FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
101 S FANNIN ST  
ROCKWALL, TX 75087

HIS COVENANT CHILDREN INC  
102 N FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
102 N SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
102 S FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
103 N FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
104 N SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
105 N FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
106 SAN JACINTO  
ROCKWALL, TX 75087

SKY 101 S FANNIN SERIES LLC  
106 E RUSK SUITE 200  
ROCKWALL, TX 75087

RESIDENT  
108 FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
108 N SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
110 N SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
112 N SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
114 N SAN JACINTO  
ROCKWALL, TX 75087

RESIDENT  
116 N SAN JACINTO  
ROCKWALL, TX 75087

ANDERSON LORETTA  
1208 S LAKESHORE DR  
ROCKWALL, TX 75087

HEFFERNAN MARILYN  
1480 BLUEBELL DRIVE  
ESTES PARK, CO 80517

JS2 PROPERTIES LLC  
1717 MAIN STREET SUITE 2950  
DALLAS, TX 75201

COMMUNITY BANK  
201 E KAUFMAN ST  
ROCKWALL, TX 75087

Z ROCK BUILDING LLC  
202 E RUSK ST  
ROCKWALL, TX 75087

RESIDENT  
202 N FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
204 E KAUFMAN  
ROCKWALL, TX 75087

RESIDENT  
204 N FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
206 N FANNIN ST  
ROCKWALL, TX 75087

RESIDENT  
206.5 E RUSK  
ROCKWALL, TX 75087

HALL J BLAKELEY  
207 E RUSK ST  
ROCKWALL, TX 75087

RESIDENT  
210 E RUSK  
ROCKWALL, TX 75087

RESIDENT  
212 E RUSK  
ROCKWALL, TX 75087

RESIDENT  
213 E RUSK  
ROCKWALL, TX 75087

TURNER V H  
214 E RUSK  
ROCKWALL, TX 75087

WELLS LEE E & LYNDA S  
2146 HARRELL STREET  
GREENVILLE, TX 75402

RESIDENT  
216 E RUSK  
ROCKWALL, TX 75087

RESIDENT  
303 E RUSK  
ROCKWALL, TX 75087

KRONTZ CHRISTIAN MICHAEL & JILLIAN ABIGAIL  
WRIGHT  
305 E KAUFMAN ST  
ROCKWALL, TX 75087

ERUDITE INCORPORATED  
305 E RUSK ST  
ROCKWALL, TX 75087

TRINITY HARBOR CHURCH  
306 E RUSK ST  
ROCKWALL, TX 75087

WILLESS JAMES L  
307 E KAUFMAN ST  
ROCKWALL, TX 75087

ESTATE OF CHARLES W FALLS  
DAVID CHARLES FALLS, EXECUTOR  
309 ROOKERY CT  
MARCO ISLAND, FL 34145

ESTATE OF CHARLES W FALLS  
DAVID CHARLES FALLS, EXECUTOR  
309 ROOKERY CT  
MARCO ISLAND, FL 34145

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309 ROOKERY CT  
MARCO ISLAND, FL 34145

ESTATE OF CHARLES W FALLS  
DAVID CHARLES FALLS, EXECUTOR  
309 ROOKERY CT  
MARCO ISLAND, FL 34145

CITY OF ROCKWALL  
385 S GOLIAD ST  
ROCKWALL, TX 75087

GODINEZ RAUL K AND  
MAGDALENA M GALVAN-DIAZ  
401 E KAUFMAN ST  
ROCKWALL, TX 75087

WEST CHRISTOPHER AND  
KATHERINE ROWE  
401 EAST RUSK  
ROCKWALL, TX 75087

RESIDENT  
402 E RUSK  
ROCKWALL, TX 75087

KNIGHT MOONEY VICKIE SUE  
& HERMAN KNIGHT  
403 E KAUFMAN ST  
ROCKWALL, TX 75087

RESIDENT  
406 E KAUFMAN  
ROCKWALL, TX 75087

RUTH DIANE RUSSELL TRUST  
RUTH DIANE RUSSELL- TRUSTEE  
43 PINEAPPLE DR  
PALM COAST, FL 32164

GRAY PEGGY JO  
521 KATHY DR  
MESQUITE, TX 75149

ROCKWALL 4 LLC  
5818 PORTSMOUTH LANE  
DALLAS, TX 75252

PEOPLES BILLY W JR  
614 COVEY TRL  
ROCKWALL, TX 75087

KING PACIFIC INC  
8100 GREENSBORO DR  
PLANO, TX 75025

ROBERT COOK ESTATE  
C/O ALICIA COOK  
901 PIONEER ROAD  
MESQUITE, TX 75149

JO SUNGRAE  
960 MIDNIGHT PASS  
ROCKWALL, TX 75087

SOUTHWESTERN BELL TELEPHONE CO  
ATTN: PROPERTY TAX DEPT 1010 PINE, 9E-L-01  
ST. LOUIS, MO 63101

CAIN REVOCABLE FAMILY TRUST AND  
CREDIT SHELTER TRUST AND SURVIVORS TRUST  
DEWAYNE CAIN TRUSTEE 305 STONEBRIDGE DR  
ROCKWALL, TX 75087

CHRIST FOR INDIA  
PO BOX 271086  
DALLAS, TX 75227

ROCKWALL LIONS CLUB  
C/O OLIVER R SPILLER  
PO BOX 663  
ROCKWALL, TX 75087

COLLIN-G PROPERTIES LTD  
PO BOX 847  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the Historic Preservation Advisory Board will consider the following application:

**Case No. H2023-022: Certificate of Appropriateness for 303 E. Rusk Street**

*Hold a public hearing to discuss and consider a request by Pare Underwood and Haley Crespo on behalf of Annette Lall of HIS Covenant Children, Inc. for the approval of a Certificate of Appropriateness (COA) for an Event Hall/Banquet Facility in a Landmark Property being a 0.689-acre tract of land identified as a portion of Lots A & B, Block 2, Griffith Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, addressed as 303 E. Rusk Street, and take any action necessary.*

For the purpose of considering the effects of such a request, the Historic Preservation Advisory Board will hold a public hearing on Thursday, December 21, 2023 at 6:00 PM. This hearing will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Henry Lee**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Thursday, December 21, 2023 at 4:00 PM to ensure they are included in the information provided to the Historic Preservation Advisory Board.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning

----- PLEASE RETURN THE BELOW FORM -----

**Case No. H2023-022: Certificate of Appropriateness for 303 E. Rusk Street**

**Please place a check mark on the appropriate line below:**

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:

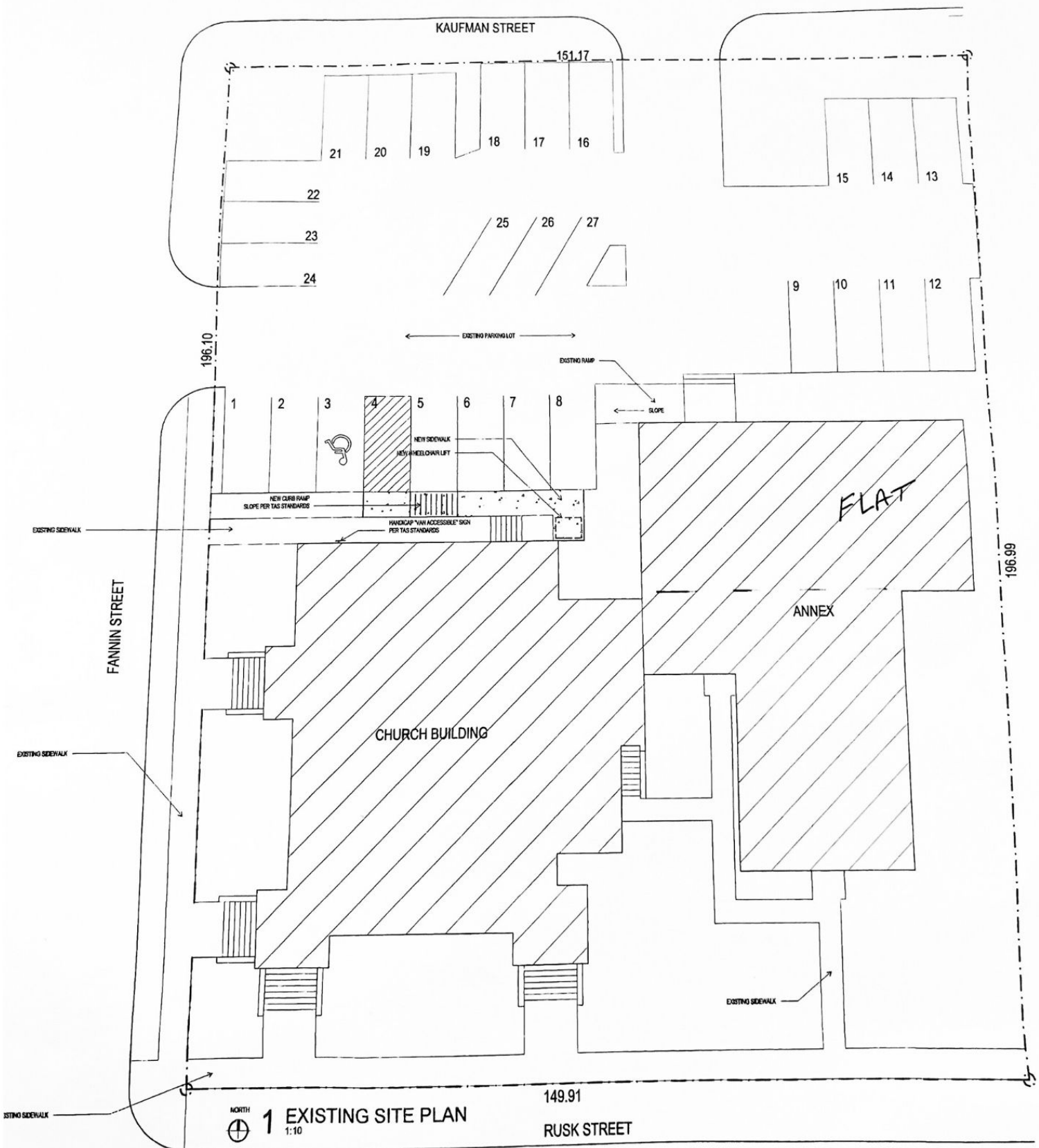
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

# THE FLAT

## FLOOR PLAN



NORTH  
 1 EXISTING SITE PLAN  
 1:10

NATIONAL ARCHITECTURE © COPYRIGHT 2007

# THE FLAT

DOWNTOWN ROCKWALL



## ABOUT US

Located in the heart of downtown Rockwall, The Flat is a charming and cozy spot perfect for small gatherings. Our space is designed to provide women a welcoming & intimate environment to celebrate special life milestones, such as showers, small studies, workshops, and mentorship. Additionally, we offer our space to non-profits for a discounted rate and local businesses for brand photoshoot sessions. The Flat is also home to our partner, Choose To Soar, a local non-profit dedicated to equipping women to lead, grow, and become all God intended.

## Our Mission

Haley Crespo, the cofounder of Skin Envy, and Paré Underwood, a licensed professional counselor, bonded over their mutual passion for supporting and empowering women. Together, they created The Flat with the idea that women are amazing and desire connection, fellowship, and creativity. They soon partnered with Tanya Magnus, the founder of Choose to Soar Ministries. With God as their foundation, these three dedicated women have cultivated the perfect spot for women to connect, celebrate, and grow in fellowship and faith.







# CHOOSE TO SOAR

EQUIPPING, EMPOWERING & ENCOURAGING WOMEN



## ABOUT US

Housed within the Flat, Choose to Soar Ministries equips and empowers women with biblical principles to be all God intended. Their weekly studies, weekend, and one-day training's, were attended by over 245 women in the community. These women are equipped and prepared to better serve their families, community, and church.

## WHAT WE OFFER

- Weekly Bible Study
- Encounter Weekends
- Prayer Room
- Resource Room containing free biblical and faith based material
- Mentoring & Coaching

### Hours of Operation

Mon: 8:30 am - 8 pm

Tues: 8:30 am - 5 pm

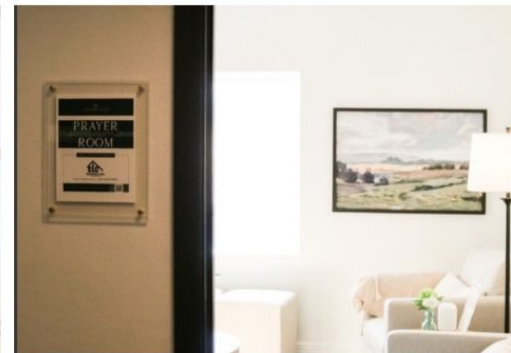
Wed: 8:30 am - 6:30 pm

Thurs: 8:30 am - 3 pm

Fri: Closed

Sat: Events Only

Sun: Closed



# Our Local Partners



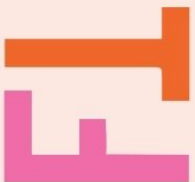
## NON-PROFITS

- Poiema Foundation for Sex Trafficking Awareness
- Meals on Wheels
- Women in Need
- Crosspoint Community Church
- Redeemer Church
- Providence Academy
- Rockwall Non-Profit Day
- Weekly Women's Power Hour
- Aspasians
- Amica
- Rockwall Republican Women
- Rockwall Women in Business



## LOCAL BUISNESSES

- Community Counselors
- Ami Kristin Studio
- Ollie Marie Boutique
- Living Magazine
- Kim Bentley

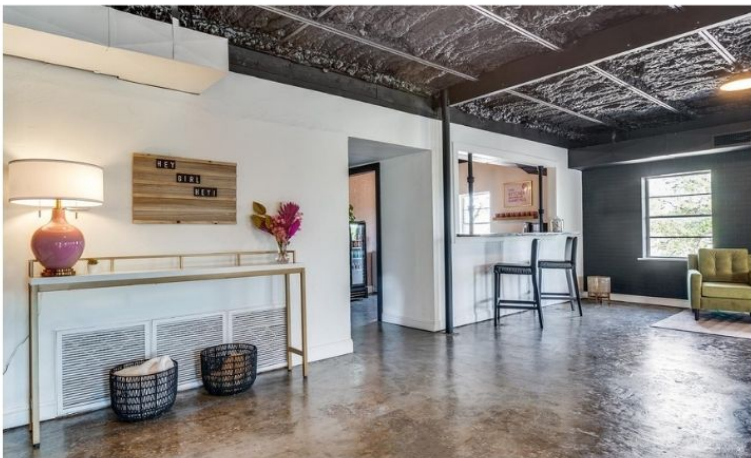


# About the Space



303 E. Rusk Street,  
Rockwall, TX 75087

Just up the stairs awaits our quaint spot designed to accommodate small gatherings and make women feel right at home!





CHIROPRACTIC  
CLINIC

AUG 13 2003





W Fannin  
100 St



Historic  
Building

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW AN *EVENT HALL/BANQUET FACILITY* ON A 0.689-ACRE TRACT OF LAND IDENTIFIED AS LOTS A & B, BLOCK 2, GRIFFITH ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, a request has been made by Pare Underwood on behalf of Annette Lall of HIS Covenant Children for the approval of a *Specific Use Permit (SUP)* for an *Event Hall/Banquet Facility* on a 0.689-acre tract of land identified as Lots A & B, Block 2, Griffith Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the Old Town Rockwall (OTR) Historic District, addressed as 303 E. Rusk Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:**

**SECTION 1.** The Unified Development Code [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing for the establishment of an *Event Hall/Banquet Facility* as stipulated by Article 04, *Permissible Uses*, of the Unified Development Code [Ordinance No. 20-02] on the *Subject Property*; and

**SECTION 2.** That the *Subject Property* shall be used and developed only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in Subsection 01.01, *Land Use Schedule*, of Article 04, *Permissible Uses*, and Subsection 04.01, *General Commercial District Standards*; and Subsection 04.07, *Downtown (DT) District*, of Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall -- as heretofore amended and may be amended in the future -- and with the following conditions:

## 2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of an *Event Hall/Banquet Facility* on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- 1) The proposed *Event Hall/Banquet Facility* shall be limited to the area depicted in *Exhibit 'B'* of this ordinance.
- 2) The proposed *Event Hall/Banquet Facility* shall apply for and receive a Certificate of Occupancy (CO) upon approval of the proposed Specific Use Permit (SUP).

## 2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Certificate of Occupancy (CO)*, should the business owner operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (after proper notice) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, THIS THE 5<sup>th</sup> DAY OF FEBRUARY, 2024.**

---

Trace Johannesen, *Mayor*



**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

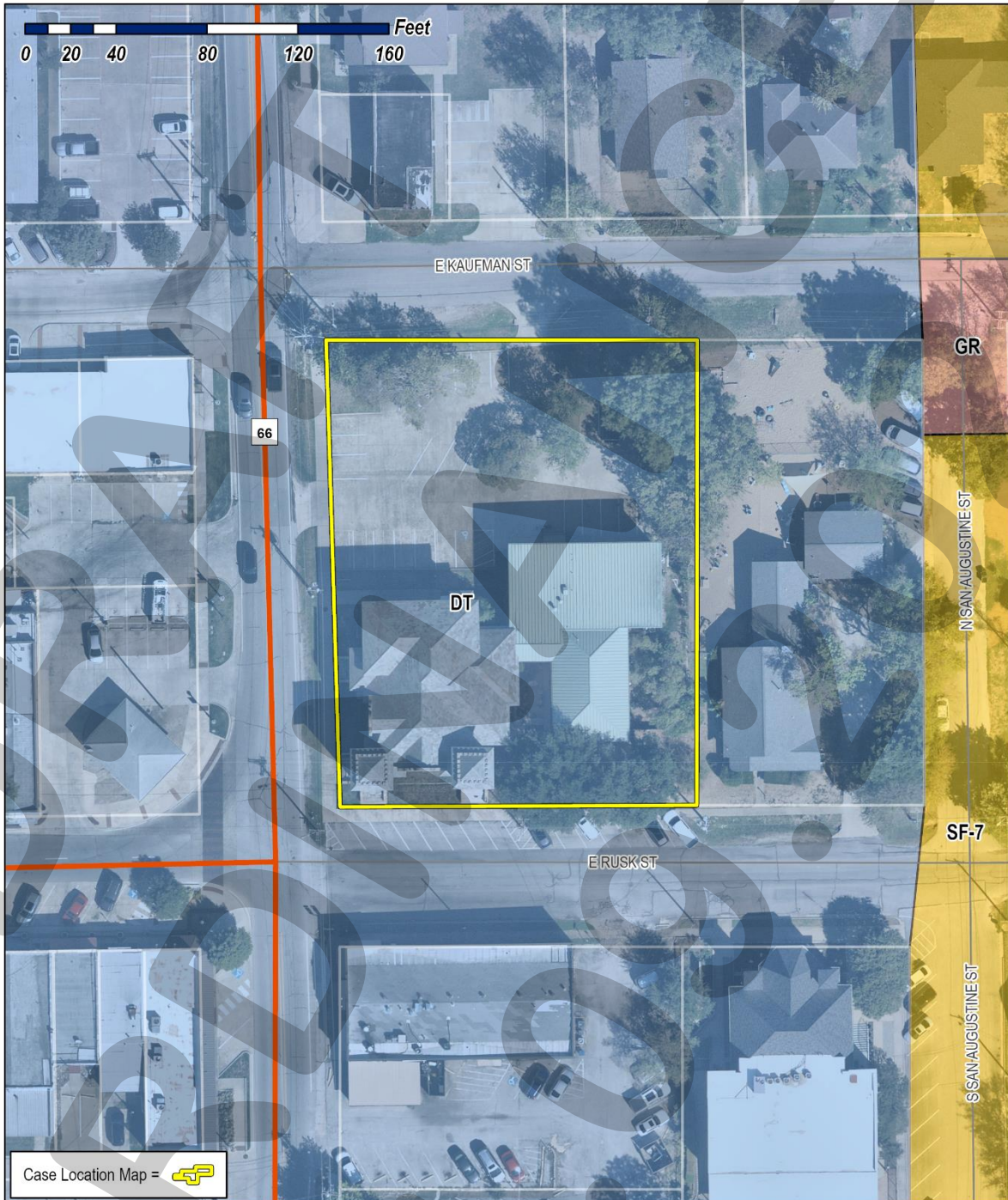
1<sup>st</sup> Reading: January 16, 2024

2<sup>nd</sup> Reading: February 5, 2024

DRAFT  
ORDINANCE  
01.09.2024

**Exhibit 'A':  
Location Map**

LEGAL DESCRIPTION: LOTS A AND B, BLOCK 2, GRIFFITH ADDITION



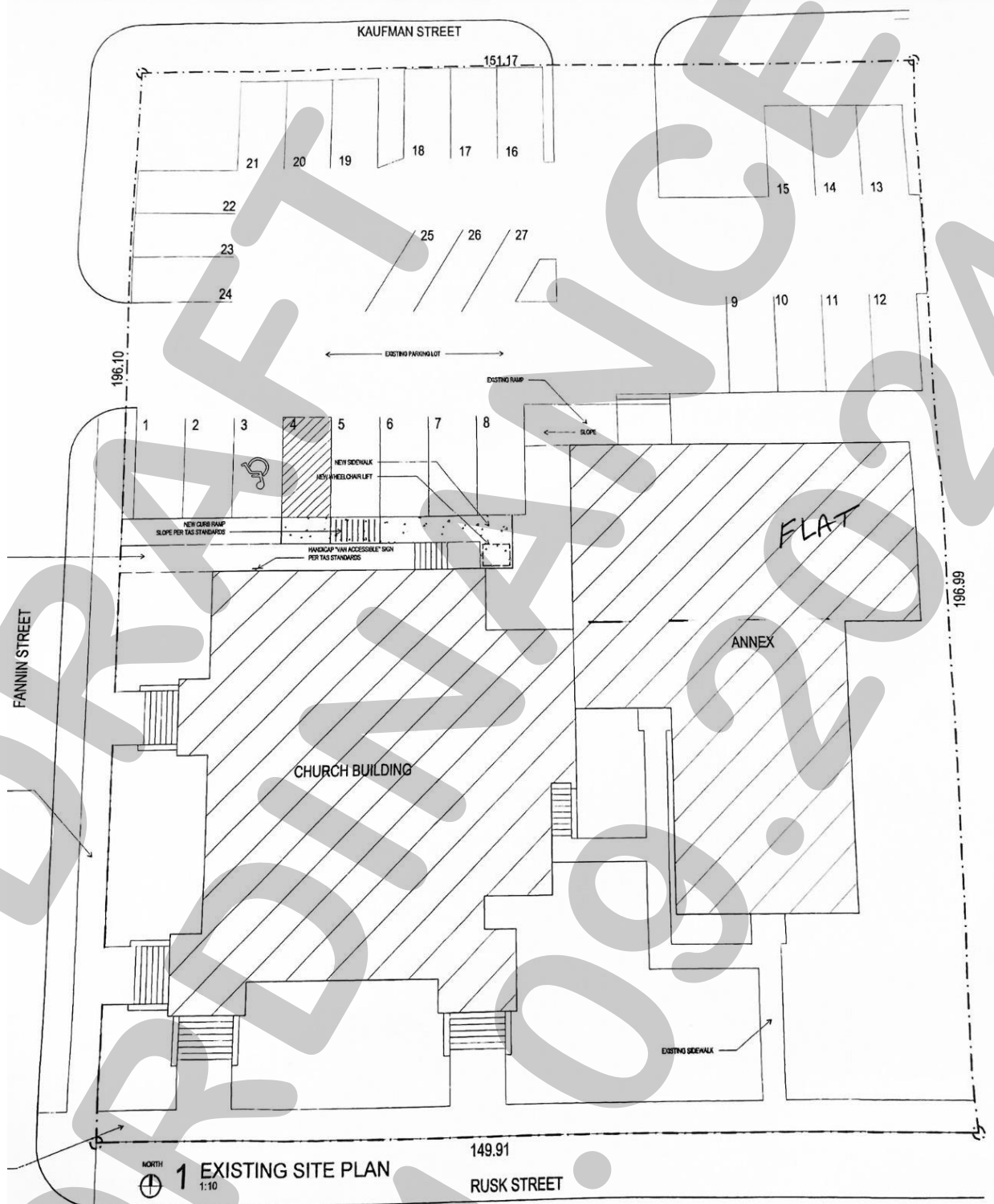
**City of Rockwall**

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

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**Exhibit 'B':  
Site Plan**





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission

**DATE:** January 9, 2024

**APPLICANT:** Dean Cathey

**CASE NUMBER:** Z2023-055; *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for 3601 Highpoint Drive*

---

### **SUMMARY**

Hold a public hearing to discuss and consider a request by Dean Cathey of Dean Cathey Custom Homes on behalf of Chris Malek for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.2070-acre tract of land identified as Lots N38, N39 & N40 of Lakeside Village, Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 2 (PD-2), addressed as 3601 Highpoint Drive, and take any action necessary.

### **BACKGROUND**

The subject property was annexed into the City of Rockwall on November 7, 1960 by *Ordinance No. 60-04 [Case No. A1960-004]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the City's *Historic Zoning Maps*, the subject property was zoned Planned Development District 2 (PD-2) as of January 3, 1972. In 1973, the subject property was platted as Lots N38, N39 & N40 of the Lakeside Village Subdivision, Phase 4. On October 1, 1984, the City Council approved a site plan (*i.e. Case No. PZ1984-023-01*) for Phases 1-4 of the Lakeside Village Subdivision. On November 5, 1984 (*Ordinance No. 84-53*) and August 3, 1992 (*Ordinance No. 92-23*) the City Council adopted changes to the area requirements for Phases 1-4 of the Lakeside Village Subdivision. The subject property has remained zoned Planned Development District 4 (PD-4) for single-family detached land uses and has been vacant since annexation.

### **PURPOSE**

The applicant -- *Dean Cathey* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### **ADJACENT LAND USES AND ACCESS**

The subject property is addressed as 3601 Highpoint Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Highpoint Drive, which is identified as a *R2 (i.e. residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of this are several parcels of land developed with single-family homes that are zoned Planned Development District 2 (PD-2) for single-family detached land uses. Beyond this is Lakeside Drive, which is identified as a *R2 (i.e. residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a single-family home (*i.e. 3602 Hilltop Circle*). Beyond this is Hilltop Circle, which is identified as an *R2 (i.e. residential, two [2] lane, undivided roadway)* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this is a 21.07-acre tract of land that belongs to the Lakeside Village Homeowners Association (HOA) and is part of the Lakeside Village #3 subdivision plat. All of these properties are zoned Planned Development District 2 (PD-2).

East: Directly east of the subject property is Hilltop Circle, which is identified as an R2 (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this is a 21.07-acre tract of land that belongs to the Lakeside Village Homeowners Association (HOA) and is part of the Lakeside Village #3 subdivision plat. Beyond this are five (5) parcels of land (*i.e. 3501, 3503, 3505, 3507, and 3509 Augusta Trail*) developed with single-family homes. All of these properties are zoned Planned Development District 2 (PD-2) for single-family detached land uses.

West: Directly west of the subject property is are seven parcels of land (*i.e. 3603, 3605, 3607, 3609, 3611, 3613, & 3615 Hilltop Circle*) that are developed with single-family homes. Beyond this are two (2) vacant parcels of land (*i.e. 3617 & 3619 Hilltop Circle*) and an additional parcel of land (*i.e. 3621 Hilltop Circle*) that is developed with a single-family home. All of these properties are zoned Planned Development District 2 (PD-2) for single-family detached land uses. Further east of this is Village Drive, which is identified an R2 (*i.e. residential, two (2) lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

**CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90.00% developed, and that has been in existence for more than ten (10) years.” The subject property is located in Phase 4 of the Lakeside Village Subdivision, which has been in existence since 1973, consists of 61 single-family residential lots, and is 95.08% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Highpoint Drive compared to the house proposed by the applicant:

| Housing Design and Characteristics | Existing Housing on Highpoint Drive   | Proposed Housing  |
|------------------------------------|---|---|
| Building Height                    | One (1) & Two (2) Story   | Two (2) Story   |
| Building Orientation               | All of the homes located along Highpoint Drive are oriented towards Highpoint Drive.  | The front elevation of the home will face onto Highpoint Drive.           |
| Year Built                         | 1979-2018   | N/A   |
| Building SF on Property            | 2,131 SF – 5,075 SF   | 3,993 SF  |
| Building Architecture              | Tuscan Homes  | Comparable Architecture to the Existing Homes                             |
| Building Setbacks:                 |   |   |
| Front                              | The front yard setbacks appear to conform to the required 20-foot front yard setback for homes with front entry garages and ten (10) feet for homes with rear or side yard entry garages. | 15-Feet ( <i>Required 10-Feet</i> )                                       |
| Side                               | The side yard setbacks appear to conform to the required five (5) foot internal side yard setback and ten (10) foot adjacent to a street.   | 5-Feet Internal Side Yard<br>20-Feet Side Yard Adjacent to Hilltop Circle |
| Rear                               | The rear yard setbacks appear conform to the required 7½-foot rear yard setback.  | 10-Feet   |
| Building Materials                 | Stucco  | Stucco  |
| Paint and Color                    | White, Cream  | <i>Undefined by the Applicant</i>   |
| Roofs                              | Tile  | Tile  |

|           |  |                                      |
|-----------|--|--------------------------------------|
| Driveways | Driveways are mostly in the front of the homes and visible from Highpoint Drive. | The garage will be a j-swing garage. |
|-----------|--|--------------------------------------|

Staff should note that the proposed single-family home meets all of the density and dimensional requirements for Planned Development District 2 (PD-2) as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Highpoint Drive and the proposed building elevations in the attached packet. The approval of this request is a discretionary decision to the Planning and Zoning Commission and City Council pending a finding that the proposed house will not have a negative impact on the existing subdivision.

**NOTIFICATIONS**

On December 19, 2023, staff mailed 94 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Lakeside Village Homeowner’s Association (HOA), which is the only HOA or Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one notice in favor of the applicant’s request.

**CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant’s request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit ‘B’* of the draft ordinance.
  - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit ‘C’* of the draft ordinance; and,
  - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this zoning change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup> IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup> A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

## PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 3601 HIGHPOINT

SUBDIVISION LAKE SIDE VILLAGE

LOT N 38-39-40 BLOCK TRACT N-40

GENERAL LOCATION HIGH POINT + HILLTOP CIRCLE

## ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING SF1

CURRENT USE LOT

PROPOSED ZONING \_\_\_\_\_

PROPOSED USE NEW HOME

ACREAGE 1.66

LOTS [CURRENT] \_\_\_\_\_

3

LOTS [PROPOSED] \_\_\_\_\_

1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER CHRIS + CHARLA MALEK

APPLICANT DEAN CATHEY CUSTOM HOMES

CONTACT PERSON CHRIS MALEK

CONTACT PERSON DEAN CATHEY

ADDRESS 3022 HARBOR DR.

ADDRESS 3066 ROCHELLE RD

CITY, STATE & ZIP ROCKWALL TX 75087

CITY, STATE & ZIP ROCKWALL TX 75087

PHONE 713-819-1811

PHONE 972-571-1630

E-MAIL CCONTHE ROCK@YAHOO.COM

E-MAIL DEAN@DEANCATHEY.COM

## NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Chris Malek [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 215.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13 DAY OF Dec. 20 23 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

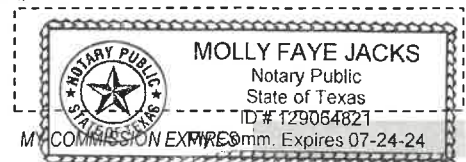
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12 DAY OF Dec, 20 23

OWNER'S SIGNATURE

Chris Malek

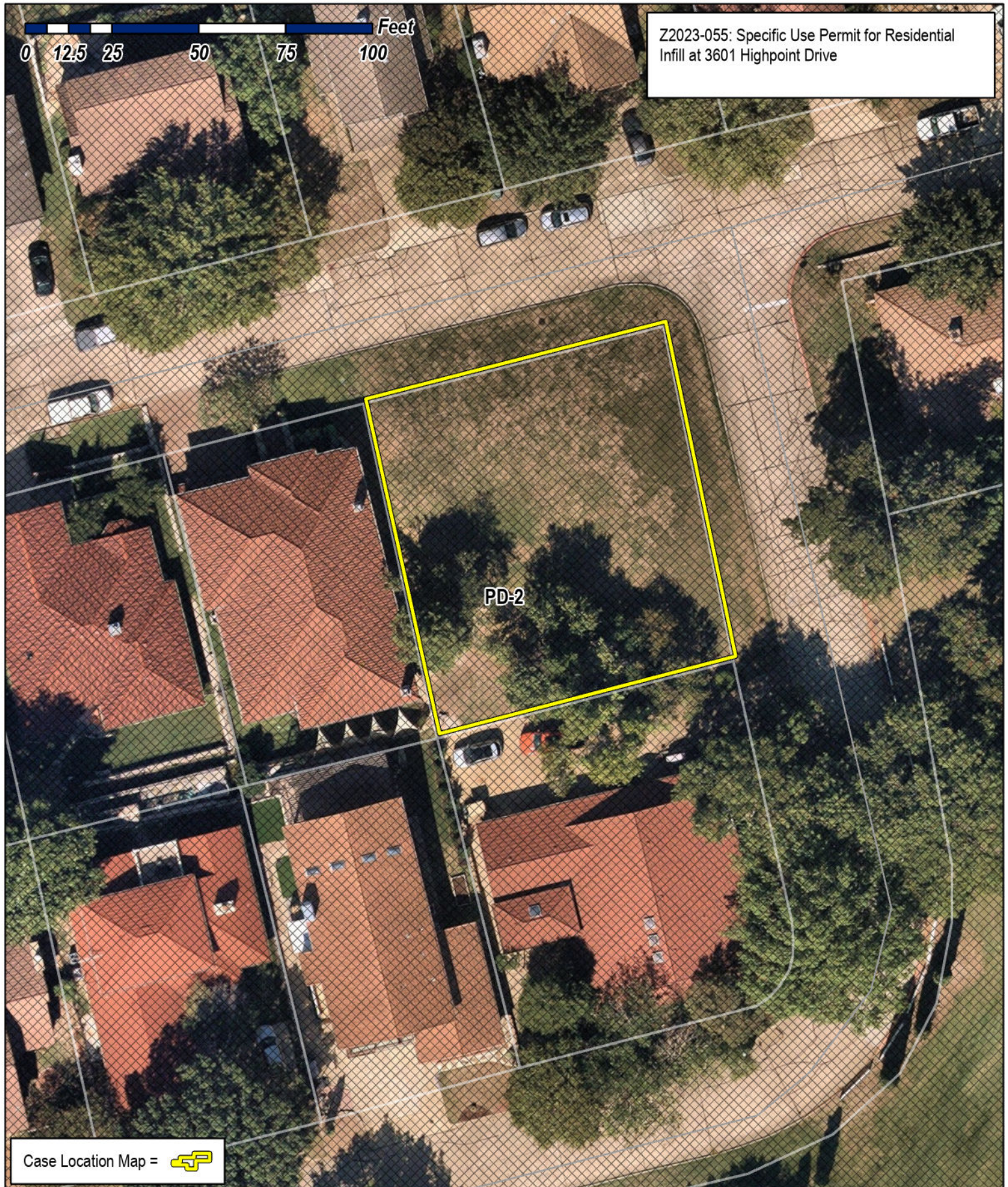
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Molly Faye Jacks




0 12.5 25 50 75 100 Feet

Z2023-055: Specific Use Permit for Residential Infill at 3601 Highpoint Drive



PD-2

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): [www.rockwall.com](http://www.rockwall.com)

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



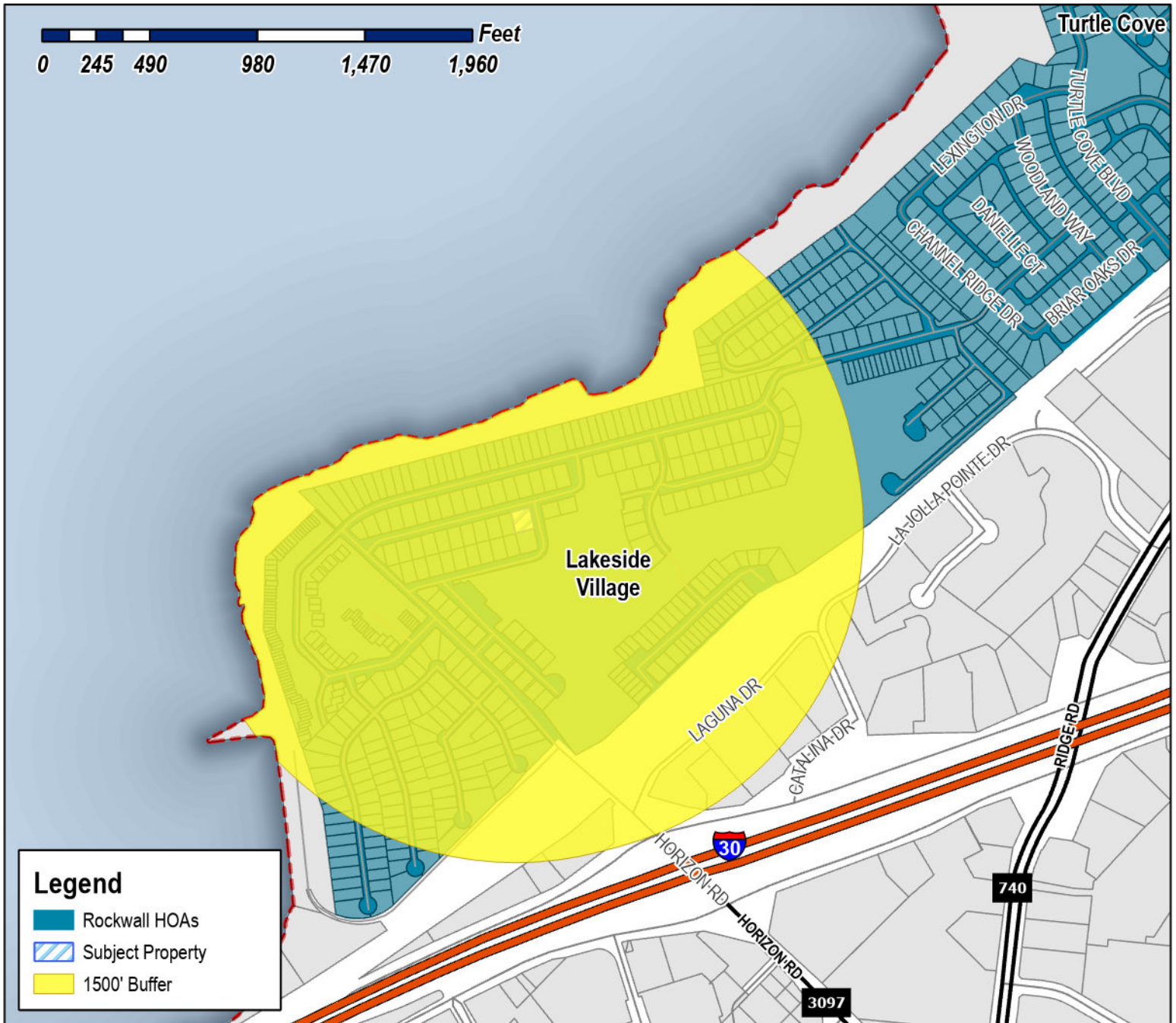
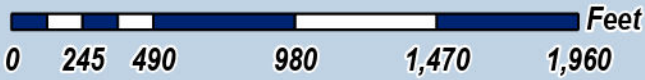




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### Legend

- Rockwall HOAs
- Subject Property
- 1500' Buffer

**Case Number:** Z2023-055  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development 2 (PD-2) District  
**Case Address:** 3601 Highpoint Drive

**Date Saved:** 12/14/2023

For Questions on this Case Call (972) 771-7745

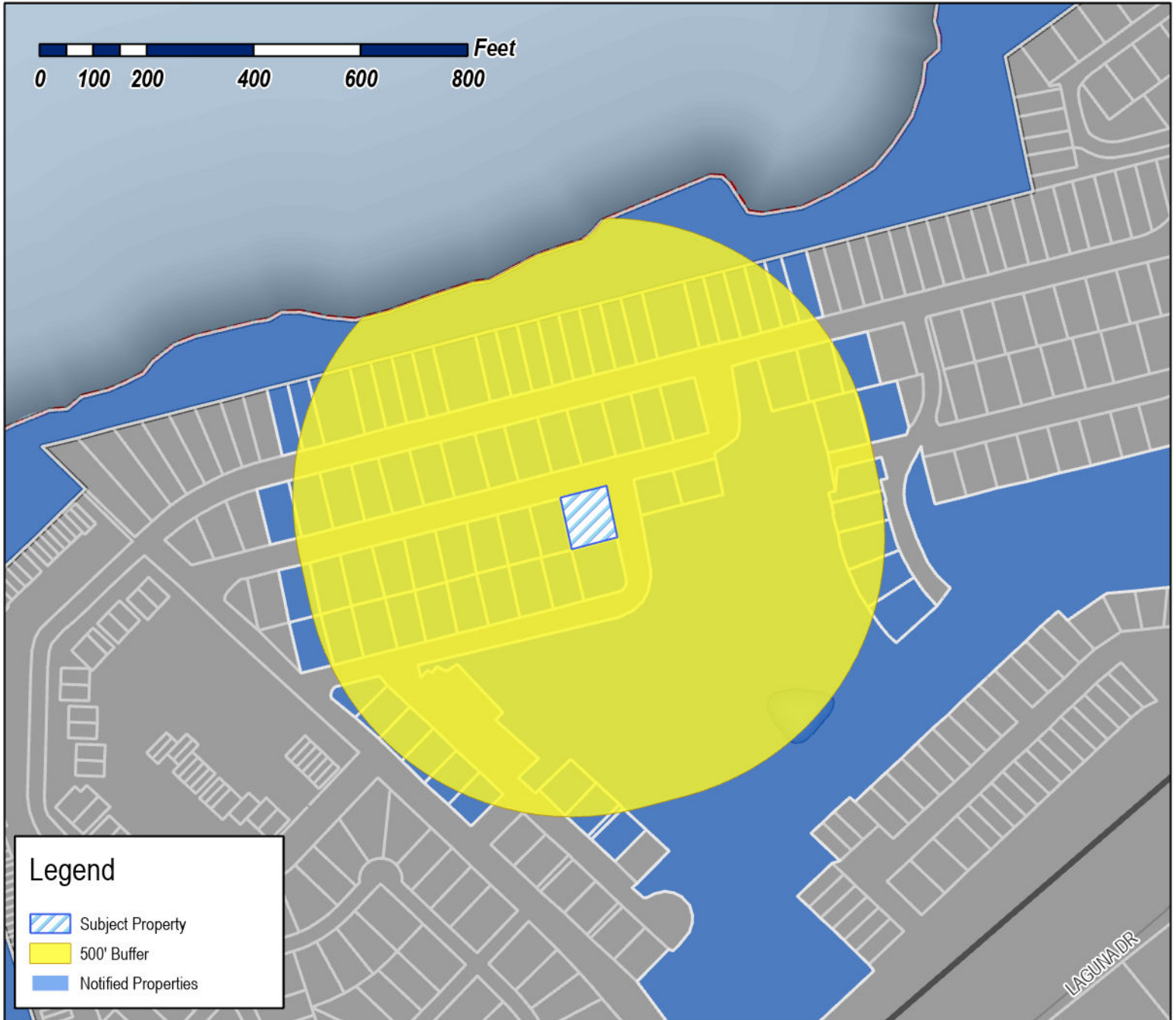




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**Case Address:** 3601 Highpoint Drive

**Date Saved:** 12/13/2023

For Questions on this Case Call: (972) 771-7746



KHATTAK ASIF  
1 LOCHLEVEN  
RICHARDSON, TX 75082

BESSETTE CYNTHIA  
13430 2ND AVE NE  
BRADENTON, FL 34212

HUDSON SFR PROPERTY HOLDINGS III LLC  
2711 N HASKELL AVE SUITE 2100  
DALLAS, TX 75204

RIGGS STELLA  
2908 SHALIMAR DR  
PLANO, TX 75023

EVANS SHEILA  
3 WATERS EDGE CT  
HEATH, TX 75032

MALEK CHRIS EDWARD & CHARLA BLASINGAME  
3022 HARBOR DR  
ROCKWALL, TX 75087

NEELEY JAMES D AND BECKY J  
3403 LAKESIDE DRIVE  
ROCKWALL, TX 75087

COATS RANDALL G AND JUDITH L  
3405 LAKESIDE DR  
ROCKWALL, TX 75087

INGRAM STEVEN AND JULIE  
3407 LAKESIDE DRIVE  
ROCKWALL, TX 75087

TURNER CRAIG R  
3410 LAKESIDE DR  
ROCKWALL, TX 75087

DOBRICK JOHN R  
3412 LAKESIDE DR  
ROCKWALL, TX 75087

RESIDENT  
3414 LAKESIDE DR  
ROCKWALL, TX 75087

SAMS DAMON CUYLER AND ANGELA BETH  
3416 LAKESIDE DR  
ROCKWALL, TX 75087

MOKRZECKY CHERYL AND  
ROGER DIEBEL  
3418 LAKESIDE DRIVE  
ROCKWALL, TX 75087

RESIDENT  
3420 LAKESIDE DR  
ROCKWALL, TX 75087

SHANMUGAN NOELINE EMMA  
3422 LAKESIDE DRIVE  
ROCKWALL, TX 75087

V & K TEXAS PROPERTIES LLC  
3500 DALROCK RD  
ROWLETT, TX 75088

PATTERSON DENIS  
3501 AUGUSTA TRL  
ROCKWALL, TX 75087

GRAMMER JERRY R AND MARIAN LUANN  
3501 HIGHPOINT DR  
ROCKWALL, TX 75087

HARVILLE FAMILY THE TRUST  
KEITH A HARVILLE & MARIA D TRUSTEES  
3502 HIGHPOINT DR  
ROCKWALL, TX 75087

VAICYS VYTAUTAS  
3502 LAKESIDE DR  
ROCKWALL, TX 75087

CROW DANNY AND MARY J  
3502 WATERVIEW TR  
ROCKWALL, TX 75087

COATS RYAN AND  
NEIL COATS  
3503 AUGUSTA TRAIL  
ROCKWALL, TX 75087

GRAVES JAMES K  
3503 HIGHPOINT DR  
ROCKWALL, TX 75087

GRAY GARY A  
3504 HIGHPOINT DR  
ROCKWALL, TX 75087

SPROULL PATRICIA M  
3504 LAKESIDE DR  
ROCKWALL, TX 75087

GREMMINGER JERRY C AND CYNTHIA E  
3504 WATERVIEW TRAIL  
ROCKWALL, TX 75087

MOORE JOSEPH CHARLES & LINDA  
3505 AUGUSTA TRL  
ROCKWALL, TX 75087

BARBERA ARTURO F & JACQUELINE  
3506 HIGHPOINT DR  
ROCKWALL, TX 75087

CONNELLY MARK AND JILL  
3506 LAKESIDE DRIVE  
ROCKWALL, TX 75087

HILL MARTHA GAYE  
3507 AUGUSTA TRL  
ROCKWALL, TX 75087

SUZUKI AOMI AND  
TAKAHIRO SUZUKI  
3508 HIGHPOINT DR  
ROCKWALL, TX 75087

MORRISSEY CRAIG AND PAIGE HUNT  
3508 LAKESIDE DRIVE  
ROCKWALL, TX 75087

ERICKSON DAVID CHARLES AND DEBORAH  
3509 AUGUSTA TR  
ROCKWALL, TX 75087

KARBAUM WILLI AND NINA  
3510 LAKESIDE DR  
ROCKWALL, TX 75087

STALEY JON T AND SHARON J  
3512 LAKESIDE DR  
ROCKWALL, TX 75087

BLACKWOOD GLENITA AND SCOTT  
3514 LAKESIDE DR  
ROCKWALL, TX 75087

MATTHEWS LILIANA  
3516 LAKESIDE DR  
ROCKWALL, TX 75087

BMG TRUST DATED MAY 24, 2018  
BETSEY M GAULT - TRUSTEE  
3518 LAKESIDE DRIVE  
ROCKWALL, TX 75087

KING KAREN R  
3522 LAKESIDE DR  
ROCKWALL, TX 75087

MATTHEWS LUCY F  
3524 LAKESIDE DRIVE  
ROCKWALL, TX 75087

RESIDENT  
3602 HIGHPOINT DR  
ROCKWALL, TX 75087

BOWEN MEREDITH NINA  
3602 HILLTOP CIRCLE  
ROCKWALL, TX 75087

MYERS JERRY & MARCIA  
3602 LAKESIDE DR  
ROCKWALL, TX 75087

BRYANT BYRON L  
3603 HIGHPOINT DR  
ROCKWALL, TX 75087

RESIDENT  
3604 HIGHPOINT DR  
ROCKWALL, TX 75087

GREMMINGER JASON A  
3604 HILLTOP CIRCLE  
ROCKWALL, TX 75087

HOLT DEVIN D AND BETTINA L  
3604 LAKESIDE DR  
ROCKWALL, TX 75087

LUNA REVOCABLE LIVING TRUST  
3605 HIGHPOINT DR  
ROCKWALL, TX 75087

SHAVER ROBERT  
3606 HIGHPOINT DRIVE  
ROCKWALL, TX 75087

DURHAM JOHN AND SANDRA AND  
3606 HILLTOP CIR  
ROCKWALL, TX 75087

BARLOW MADISON AND LUKE  
3607 HIGHPOINT DR  
ROCKWALL, TX 75087

RESIDENT  
3608 HILLTOP CIR  
ROCKWALL, TX 75087

ROLAND STEPHEN CHARLES AND JULIA  
3608 HIGHPOINT DRIVE  
ROCKWALL, TX 75087

MATHURA PHILLIP ANTHONY AND  
SUZANNE DARLENE ALLMAN-MATHURA  
3608 LAKESIDE DRIVE  
ROCKWALL, TX 75087

RESIDENT  
3609 HIGHPOINT DR  
ROCKWALL, TX 75087

RESIDENT  
3610 HILLTOP CIR  
ROCKWALL, TX 75087

PUGH GARY AND LAURA  
3610 HIGHPOINT DR  
ROCKWALL, TX 75087

KLEIN MICHAEL S AND DONNA G  
3610 LAKESIDE DR  
ROCKWALL, TX 75087

REID IRMA MASQUIFELT  
3611 HIGHPOINT DR  
ROCKWALL, TX 75087

HOWARD MARIA LOUISE  
3612 HIGHPOINT DRIVE  
ROCKWALL, TX 75087

SELMAN LINDA VALERIE  
3612 HILLTOP CIR  
ROCKWALL, TX 75087

MUKHERJEE JAYDEEP  
3612 LAKESIDE DRIVE  
ROCKWALL, TX 75087

PIERSON MICHAEL C & LESLIE PIERSON  
3613 HIGHPOINT DR  
ROCKWALL, TX 75087

RESIDENT  
3614 HIGHPOINT DR  
ROCKWALL, TX 75087

DEATON KEVIN & SHERI  
3614 HILLTOP CIR  
ROCKWALL, TX 75087

HAMILTON JOHN E  
3615 HIGHPOINT DR  
ROCKWALL, TX 75087

CONFIDENTIAL  
3616 HIGHPOINT DRIVE  
ROCKWALL, TX 75087

NETHERLAND JOHN L AND SUE  
3616 HILLTOP CIRCLE  
ROCKWALL, TX 75087

RESIDENT  
3617 HIGHPOINT DR  
ROCKWALL, TX 75087

HORNQUIST ERIC R & SANDRA L  
3618 HIGHPOINT DR  
ROCKWALL, TX 75087

BEASLEY GILLIAN  
3618 HILLTOP CIR  
ROCKWALL, TX 75087

RESIDENT  
3619 HIGHPOINT DR  
ROCKWALL, TX 75087

CLARKE WILLIAM P & ISABEL A  
3620 HIGHPOINT DR  
ROCKWALL, TX 75087

OLSEN SHARON REVOCABLE LIVING TRUST  
3620 HILLTOP CIR  
ROCKWALL, TX 75087

RESIDENT  
4100 VILLAGE DR  
ROCKWALL, TX 75087

RESIDENT  
4100 VILLAGE DR  
ROCKWALL, TX 75087

RESIDENT  
4100 VILLAGE DR  
ROCKWALL, TX 75087

LEWIS MARY P  
4103 CABANA CT  
ROCKWALL, TX 75087

MCGOWAN KYLE  
4105 CABANA COURT  
ROCKWALL, TX 75087

CROWELL TERESA  
4107 CABANA CT  
ROCKWALL, TX 75087

RIVES MELANIE STEWART  
4212 VILLAGE DR  
ROCKWALL, TX 75087

RESIDENT  
4214 VILLAGE DR  
ROCKWALL, TX 75087

TOLLESON TERRY & PATSY  
4216 VILLAGE DR  
ROCKWALL, TX 75087

PECK KIMBERLY W  
4218 VILLAGE DR  
ROCKWALL, TX 75087

VENRICK CHERYL  
4220 VILLAGE DR  
ROCKWALL, TX 75087

I BENDECK & CO LLC  
5818 PRESTON FAIRWAYS DRIVE  
DALLAS, TX 75252

I BENDECK & CO LLC  
5818 PRESTON FAIRWAYS DRIVE  
DALLAS, TX 75252

GANNAWAY DANNY EARL  
601 COUNTRY CLUB DR  
HEATH, TX 75032

JORDAN LINDA T  
6018 RALEIGH DR  
GARLAND, TX 75044

BRILEY MATTHEW J AND KASITY  
720 WILFORD WAY  
HEATH, TX 75032

LAKESIDE VILLAGE H O ASSOC  
P.O. BOX 650255  
DALLAS, TX 75265

LAKESIDE VILLAGE H O ASSOC  
P.O. BOX 650255  
DALLAS, TX 75265

LAKESIDE VILLAGE H O ASSOC  
P.O. BOX 650255  
DALLAS, TX 75265

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-055: SUP for Residential Infill**

Hold a public hearing to discuss and consider a request by Dean Cathey of Dean Cathey Custom Homes on behalf of Chris Malek for the approval of a *Specific Use Permit (SUP)* for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.2070-acre tract of land identified as Lots N38, N39 & N40 of Lakeside Village, Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 2 (PD-2), addressed as 3601 Highpoint Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 16, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 16, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

----- PLEASE RETURN THE BELOW FORM -----

**Case No. Z2023-055: SUP for Residential Infill**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:   
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PLEASE RETURN THE BELOW FORM

Case No. Z2023-055: SUP for Residential Infill

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted area]

Name: PATRICIA SPROULL

Address: [Redacted]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE





LOT: N-40  
 SUBDIVISION: LAKESIDE VILLAGE, PH IV  
 ADDRESS: 3601 HIGHPOINT DRIVE  
 CITY, STATE: ROCKWALL, TX  
 COUNTY: ROCKWALL

RESIDENCE FOR:  
 CHRIS & CHARLA MALEK

DATE:  
 10/20/23

SCALE:

SHEET:

1



214-831-0241  
 ARCHIMATRIX.ORG

**MISCELLANEOUS NOTES:**

EACH BEDROOM TO HAVE A MINIMUM WINDOW OPENING OF 5.7 SQ. FT. WITH A MINIMUM WIDTH OF 20 IN. AND A SILL LESS THAN 44" ABOVE FIN. FLR.

ALL GLAZING WITHIN 18 IN. OF THE FLOOR AND/OR WITHIN 24 IN. OF ANY DOOR (REGARDLESS OF WALL PLANE) ARE TO HAVE SAFETY GLAZING. ALL GLAZING WITHIN 60 IN. OF TUB OR SHOWER FLOOR, 60 IN. OF A STAIR LANDING OR GREATER THAN 4 SQUARE FEET ARE TO HAVE SAFETY GLAZING.

SKYLIGHTS ARE TO BE GLAZED WITH TEMPERED GLASS ON OUTSIDE AND LAMINATED GLASS ON THE INSIDE (UNLESS FLEXIGLASS). GLASS TO HAVE MAXIMUM CLEAR SPAN OF 28 IN. AND FRAME IS TO BE ATTACHED TO A 2x CURB WITH A MINIMUM OF 4 IN. ABOVE ROOF PLANE.

ALL TUB AND SHOWER ENCLOSURES ARE TO BE GLAZED WITH SAFETY GLASS.

ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHERSTRIPPING. PROVIDE 1/2 IN. DEADBOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10 FT. (VERTICAL) OF GRADE. PROVIDE PEEP HOLE 34-66 IN. ABOVE FIN. FLOOR ON EXTERIOR ENTRY DOORS.

PROVIDE ONE SMOKE DETECTOR IN EACH ROOM AND ONE IN EACH CORRIDOR ACCESSING BEDROOMS. CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTER-CONNECT SMOKE DETECTORS TO HOUSE POWER AND INTERCONNECT SO THAT, WHEN ANY ONE IS TRIPPED, THEY ALL WILL SOUND. PROVIDE BATTERY BACKUP FOR ALL UNITS.

PROVIDE COMBUSTION AIR VENTS (MVSREEN AND BACK DAMPER) FOR GAS FIRE-PLACE AND ANY OTHER APPLIANCES WITH AN OPEN FLAME.

BATHROOMS AND UTILITY ROOMS ARE TO BE VENTED TO THE OUTSIDE WITH A FAN CAPABLE OF PRODUCING A MINIMUM OF 5 AIR EXCHANGES PER HOUR.

RANGE HOODS ARE ALSO TO BE VENTED TO THE OUTSIDE.

ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER NATIONAL ELECTRICAL CODE REQUIREMENTS.

INSULATE ALL ACCESS DOORS/ HATCHES TO CRAWL SPACES AND ATTICS TO THE EQUIVALENT RATING OF THE WALL, FLOOR OR CEILING THROUGH WHICH THEY PENETRATE. UNO ON PLANS.

ATTIC R-38  
 WALLS R-21  
 FLOORS R-30

PROVIDE CRAWLSPACE VENTING TO MEET THE REQUIREMENTS OF THE 2006 EDITION OF THE I.R.C.

PROVIDE SPECIAL INSPECTION, SPECIAL TESTING, REPORTING AND COMPLIANCE PROCEDURES ACCORDING TO THE 2018 INTERNATIONAL BUILDING CODE.

SPECIAL INSPECTOR QUALIFICATIONS: DEMONSTRATE COMPETENCE, TO THE SATISFACTION OF THE BUILDING OFFICIAL, FOR INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION IN QUESTION. PRIOR TO THE BEGINNING OF CONSTRUCTION, REVIEW THE SPECIAL INSPECTION REQUIREMENTS WITH THE ARCHITECT, ENGINEER, BUILDING OFFICIAL, GENERAL CONTRACTOR AND SPECIAL INSPECTORS.

DUTIES OF THE SPECIAL INSPECTOR INCLUDE, BUT ARE NOT LIMITED TO: OBSERVE THE WORK FOR CONFORMANCE WITH THE APPROVED PERMIT DRAWINGS AND SPECIFICATIONS. BRING DISCREPANCIES TO THE IMMEDIATE ATTENTION OF THE GENERAL CONTRACTOR FOR BUILDING OFFICIAL.

FURNISH INSPECTION REPORTS FOR EACH INSPECTION TO THE BUILDING OFFICIAL, ARCHITECT, ENGINEER, GENERAL CONTRACTOR AND OWNER IN A TIMELY MANNER.

SUBMIT A FINAL REPORT STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS INSPECTED, AND WHETHER THE WORK IS IN CONFORMANCE WITH THE APPROVED PERMIT DRAWINGS AND SPECIFICATIONS.

DUTIES OF THE GENERAL CONTRACTOR INCLUDE, BUT ARE NOT LIMITED TO:

NOTIFY SPECIAL INSPECTOR THAT WORK IS READY FOR INSPECTION AT LEAST 24 HOURS BEFORE THE INSPECTION IS REQUIRED.

MAINTAIN ACCESS TO WORK REQUIRING SPECIAL INSPECTION UNTIL IT HAS BEEN OBSERVED AND INDICATED TO BE IN CONFORMANCE BY THE SPECIAL INSPECTOR AND APPROVED BY THE BUILDING OFFICIAL.

PROVIDE THE SPECIAL INSPECTOR WITH ACCESS TO APPROVED PERMIT DRAWINGS AND SPECIFICATIONS AT THE JOB SITE.

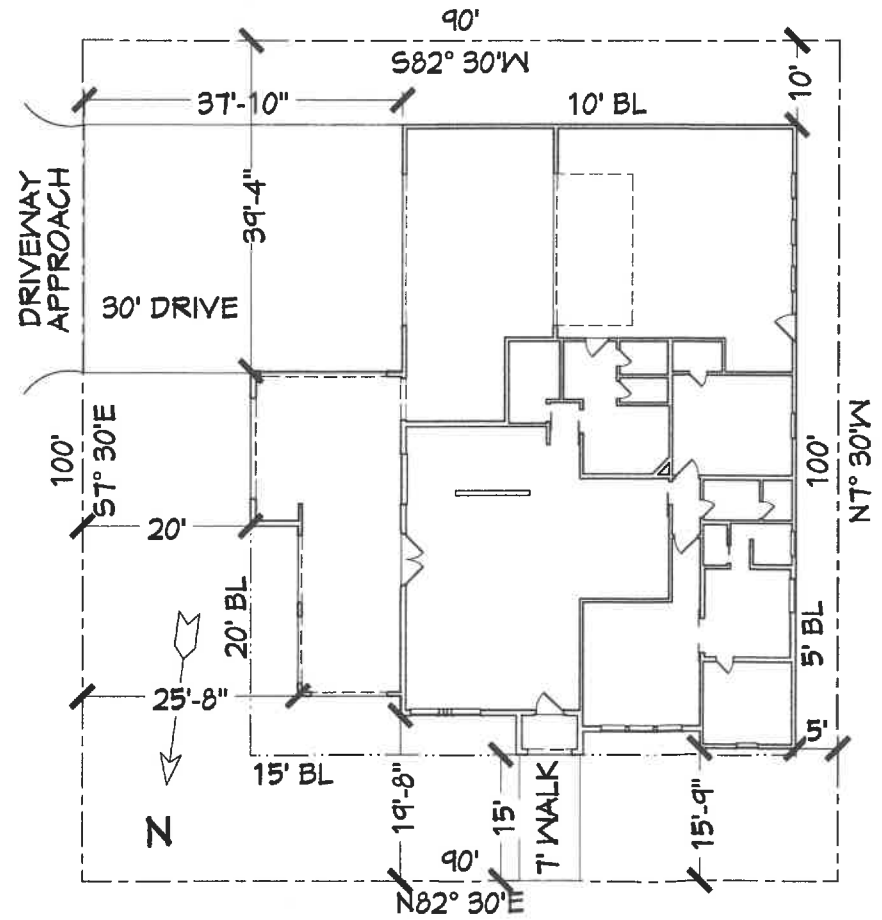
MAINTAIN JOB-SITE COPIES OF ALL REPORTS SUBMITTED BY THE SPECIAL INSPECTOR.

DEFINITIONS:  
 CONTINUOUS INSPECTION: THE SPECIAL INSPECTOR IS OBSERVING THE WORK REQUIRING SPECIAL INSPECTION AT ALL TIMES.  
 PERIODIC INSPECTION: THE SPECIAL INSPECTOR IS ON SITE AS REQUIRED TO CONFIRM THAT THE WORK REQUIRING SPECIAL INSPECTION IS IN CONFORMANCE.

THESE DRAWINGS ARE THE PROPRIETARY WORK PRODUCT AND PROPERTY OF ARCHIMATRIX, LLC. DEVELOPED FOR THE EXCLUSIVE USE OF ARCHIMATRIX, LLC. USE OF THESE DRAWINGS AND CONCEPTS CONTAINED THEREIN WITHOUT THE WRITTEN PERMISSION OF ARCHIMATRIX IS PROHIBITED AND MAY SUBJECT YOU TO A CLAIM FOR DAMAGES.

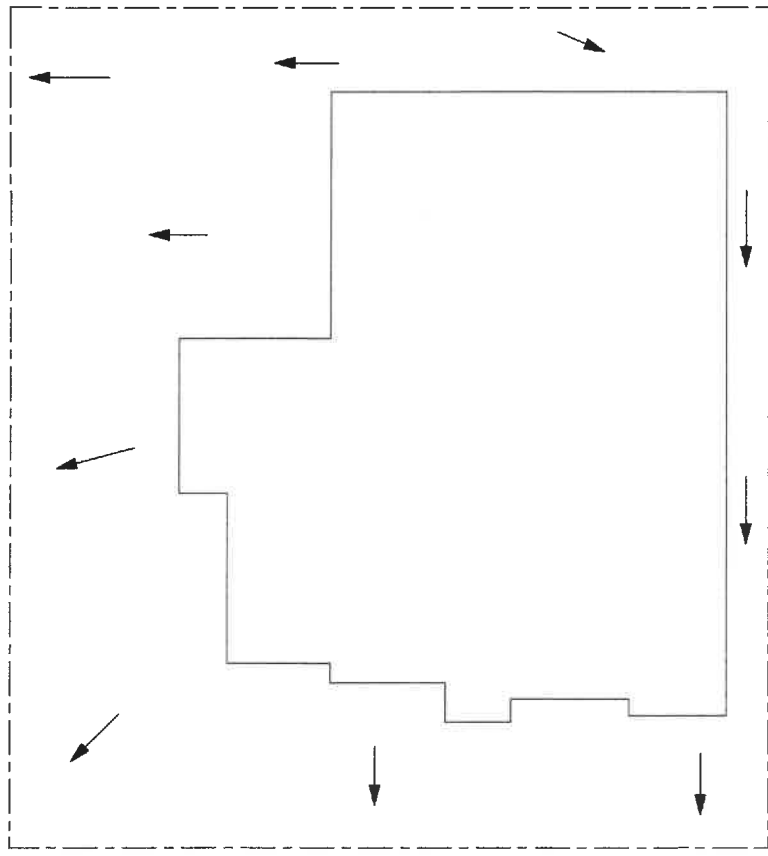


LOT= 9,000  
 FOOTPRINT= 3,998  
 COVERAGE = 44%



**PLOT PLAN**  
 1"= 10'-0"

**DRAINAGE**



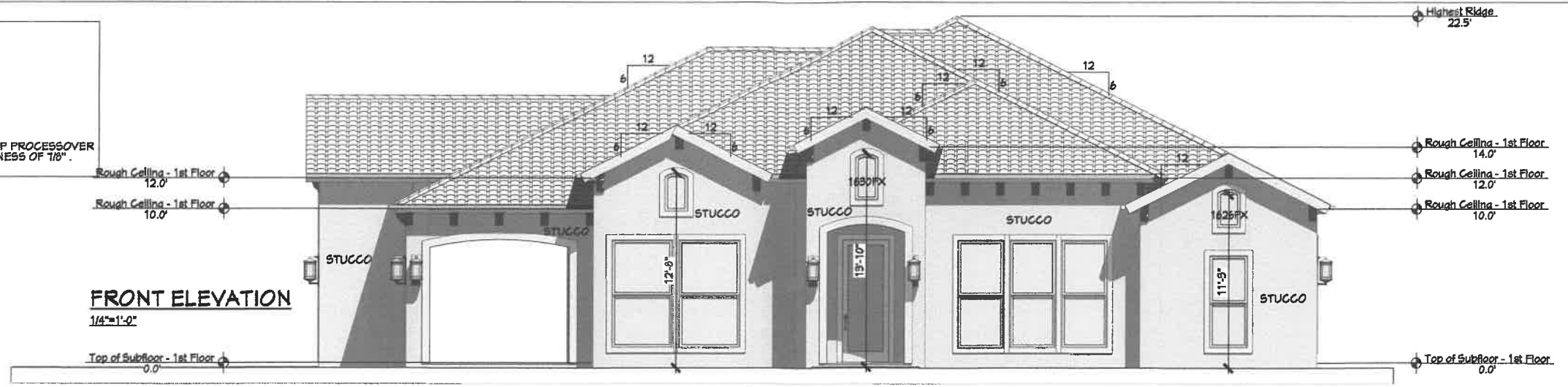
**DRAINAGE PLAN**  
 1"= 10'-0"

**NOTES:**

**COVERAGES:**

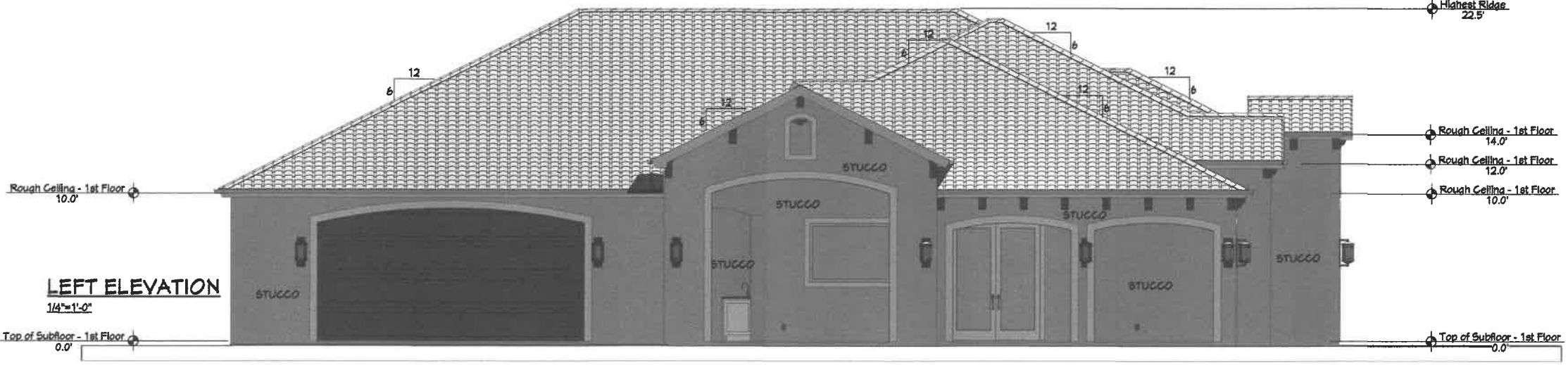
FRONT: 100% STUCCO  
 REAR: 100% STUCCO  
 LEFT: 100% STUCCO  
 RIGHT: 100% STUCCO

STUCCO MUST BE APPLIED IN A 3 STEP PROCESS OVER DIAMOND LAITH WITH A TOTAL THICKNESS OF 1/8".



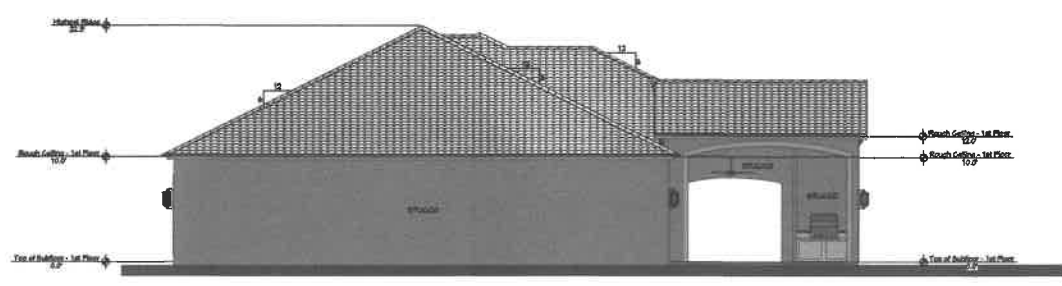
**FRONT ELEVATION**

1/4"=1'-0"



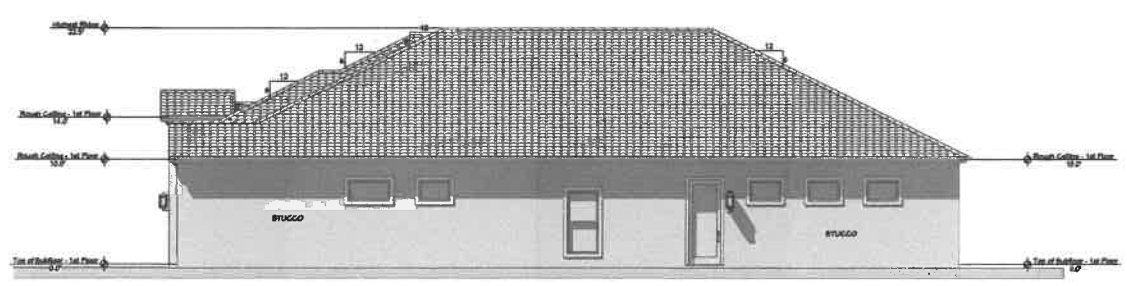
**LEFT ELEVATION**

1/4"=1'-0"



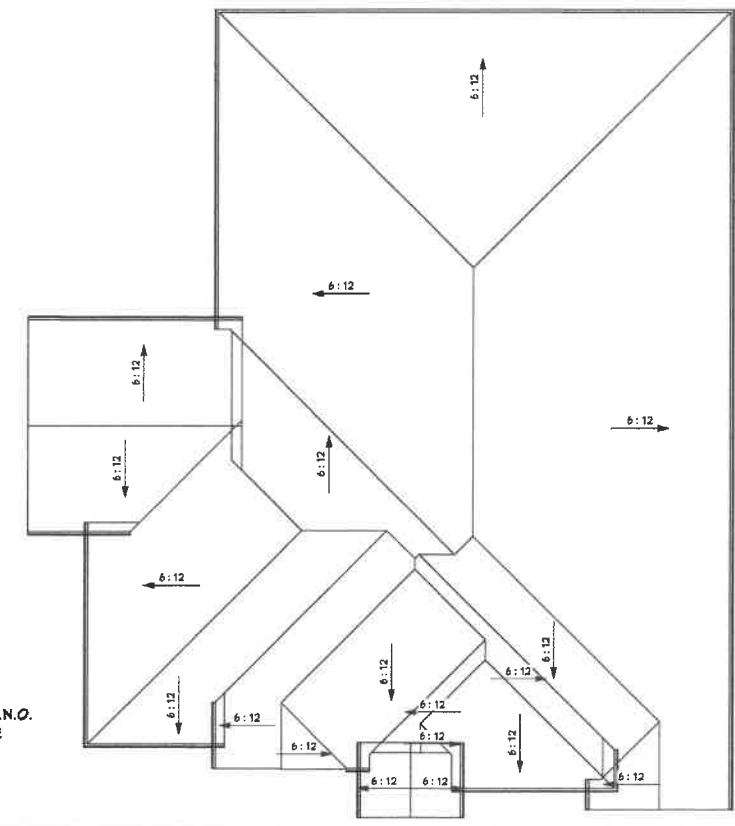
**RIGHT ELEVATION**

1/8"=1'-0"



**REAR ELEVATION**

1/8"=1'-0"



**ROOF PLAN**

1/8"=1'-0"  
 \*ALL ROOF PITCHES TO BE 6:12 U.N.O.  
 \*ALL ROOF SURFACES TO BE TILE



LOT: N-40  
 SUBDIVISION: LAKESIDE VILLAGE, PH IV  
 ADDRESS: 3601 HIGHPOINT DRIVE  
 CITY: STATE: ROCKWALL, TX  
 COUNTY: ROCKWALL

RESIDENCE FOR:  
 CHRIS & CHARLA MALEK

DATE:

10/20/23

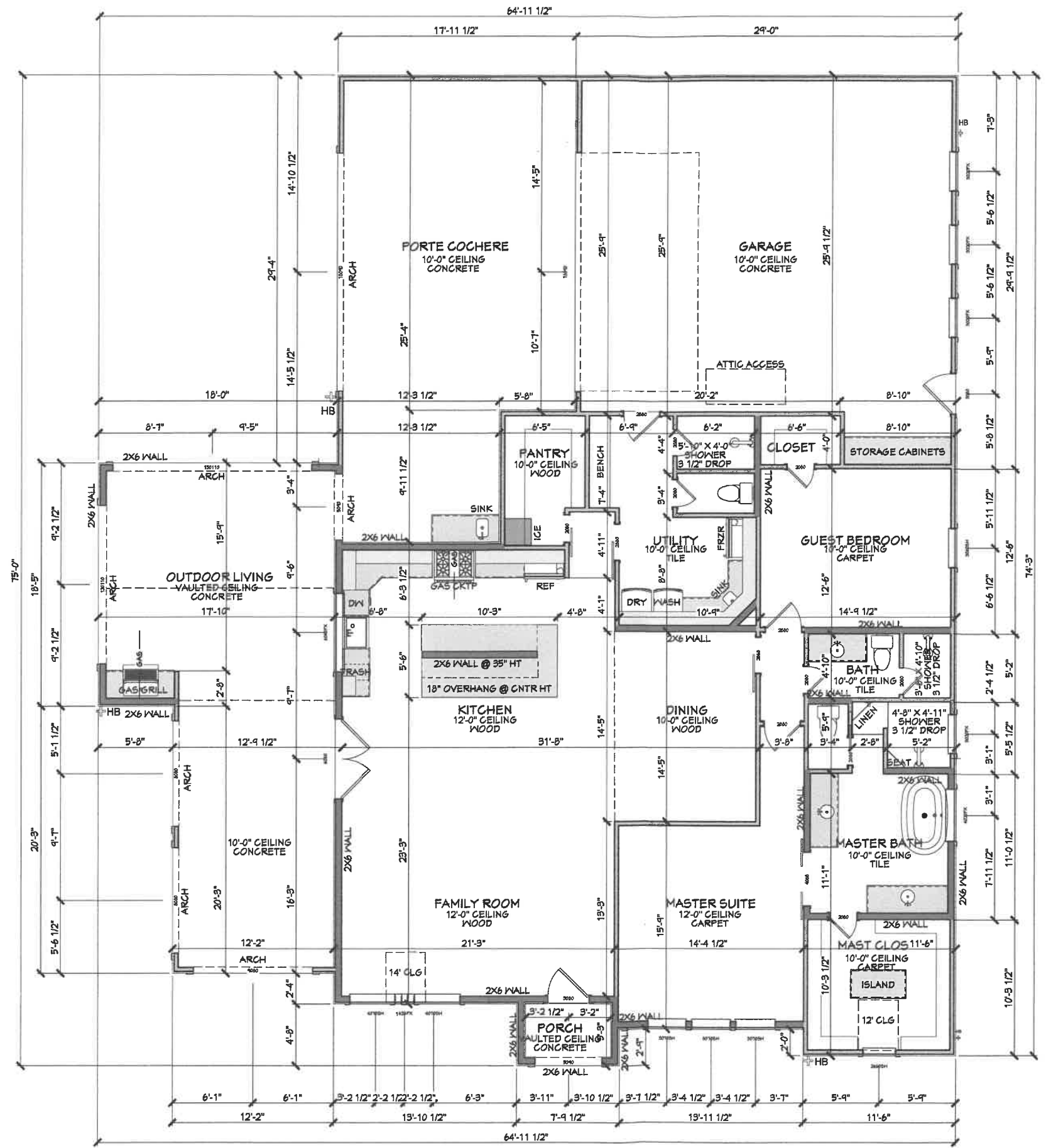
SCALE:

SHEET:

4



214-837-0241  
 ARCHIMATRIX.ORG



| DOOR SCHEDULE |     |  |
|---------------|-----|--|
| LABEL         | QTY | DESCRIPTION                                |
| 18090         | 1   | 18090 GARAGE-PANEL                         |
| 2080          | 1   | 2080 L BARN-DOOR P03                       |
| 2080          | 1   | 2080 L POCKET-DOOR P03                     |
| 2080          | 1   | 2080 L SHOWER-GLASS SLAB                   |
| 2080          | 1   | 2080 L IN HINGED-DOOR P03                  |
| 2080          | 1   | 2080 R SHOWER-GLASS SLAB                   |
| 2080          | 3   | 2080 R IN HINGED-DOOR P03                  |
| 2888          | 1   | 2888 R BARN-DOOR P03                       |
| 2888          | 3   | 2888 L IN HINGED-DOOR P03                  |
| 2888          | 1   | 2888 R BARN-DOOR P03                       |
| 3080          | 1   | 3080 L EX EXT. HINGED-GLASS PANEL          |
| 3080          | 1   | 3080 R EX EXT. HINGED-GLASS PANEL          |
| 4068          | 1   | 4068 L/R DOUBLE BARN-DOOR P03              |
| 6080          | 1   | 6080 L/R EX EXT. DOUBLE HINGED-GLASS PANEL |

| WINDOW SCHEDULE |     |                |        |          |
|-----------------|-----|----------------|--------|----------|
| LABEL           | QTY | DESCRIPTION    | SIZE   | TOP      |
| 1626FX          | 1   | FIXED GLASS-AT | 1626FX | 148"     |
| 1626FX          | 1   | FIXED GLASS-AT | 1626FX | 115 1/2" |
| 1620FX          | 1   | FIXED GLASS-AT | 1620FX | 15 1/8"  |
| 2660SH          | 1   | SINGLE HUNG    | 2660SH | 84"      |
| 3020FX          | 4   | FIXED GLASS    | 3020FX | 136"     |
| 3060SH          | 1   | SINGLE HUNG    | 3060SH | 84"      |
| 3070SH          | 3   | SINGLE HUNG    | 3070SH | 96"      |
| 4070SH          | 2   | SINGLE HUNG    | 4070SH | 96"      |
| 6040FX          | 1   | FIXED GLASS    | 6040FX | 96"      |
| 4020FX          | 1   | FIXED GLASS    | 4020FX | 96"      |

| SQUARE FOOTAGES       |      |
|-----------------------|------|
| TOTAL AIR CONDITIONED | 2026 |
| PORCH                 | 36   |
| OUTDOOR LIVING        | 580  |
| GARAGE                | 766  |
| PORTE COCHERE         | 585  |
| TOTAL UNDER ROOF      | 3493 |

**FLOOR PLAN**  
1/4"=1'-0"

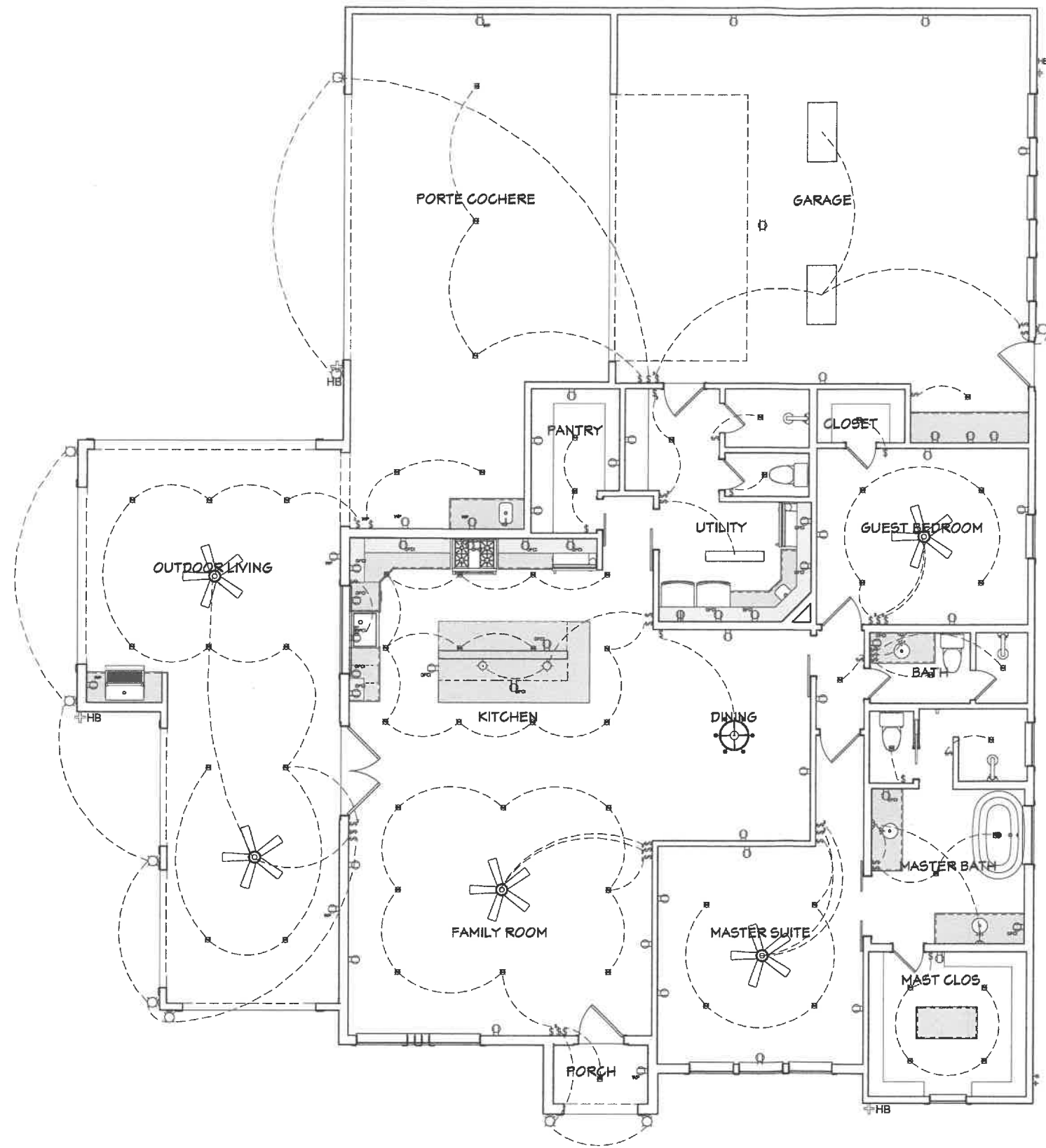


LOT: N-40  
SUBDIVISION: LAKESIDE VILLAGE, PH IV  
ADDRESS: 3601 HIGHPOINT DRIVE  
CITY, STATE: ROCKWALL, TX  
COUNTY: ROCKWALL

RESIDENCE FOR:  
**CHRIS & CHARLA MALEK**

DATE:  
10/20/23  
SCALE:  
SHEET:  
**2P-1**





| Electrical Schedule |     |  |
|---------------------|-----|--|
| 2D Symbol           | Qty | Description  |
| ⊖                   | 1   | 220V   |
| ◇                   | 2   | Brimmed Pendant  |
| ⊗                   | 5   | Ceiling Fan  |
| ⊖                   | 30  | Duplex   |
| ⊖                   | 7   | Duplex (weatherproof)  |
| ⊖                   | 1   | Duplex, Ceiling Mounted                                      |
| ⊖                   | 19  | GFCI   |
| ⊖                   | 10  | Low Wall Sconce  |
| ⊖                   | 2   | Medium Double Surface Mounted Tube Light [48"X21D] [48"X21D] |
| ⊖                   | 1   | Medium Surface Mounted Tube Light [48"X19D] [48"X19D]        |
| ⊖                   | 3   | Nicosia  |
| ⊖                   | 62  | Recessed Down Light 4  |
| ⊖                   | 1   | Ring Chandelier  |
| ⊖                   | 28  | Single Pole  |
| ⊖                   | 14  | Three Way  |
| ⊖                   | 1   | Weatherproof   |

**ELECTRICAL PLAN**  
1/4"=1'-0"



LOT: N-40  
SUBDIVISION: LAKESIDE VILLAGE, PH IV  
ADDRESS: 9601 HIGHPOINT DRIVE  
CITY, STATE: ROCKWALL, TX  
COUNTY: ROCKWALL

RESIDENCE FOR:  
**CHRIS & CHARLA MALEK**

DATE:

10/20/23

SCALE:

SHEET:

3



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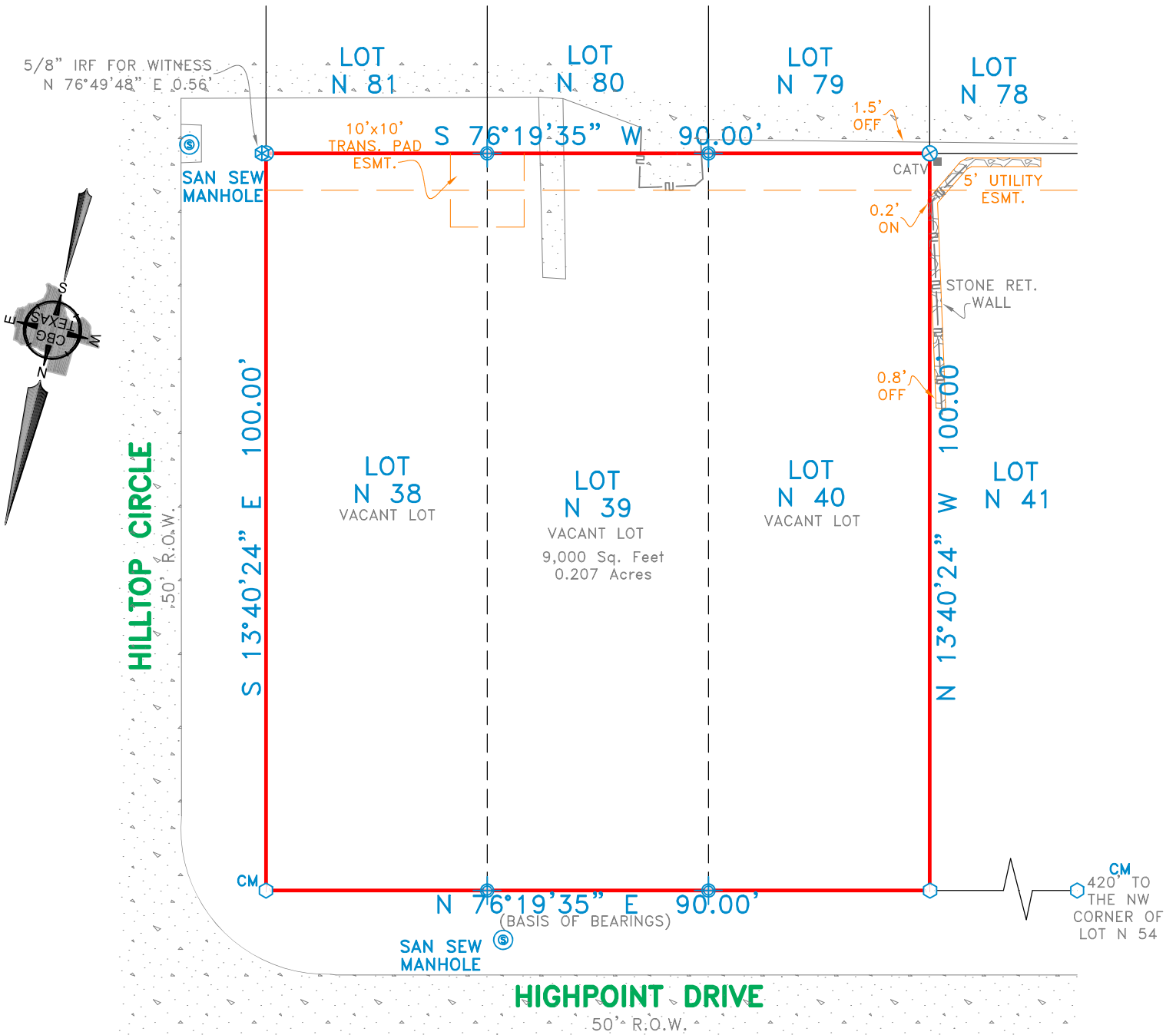
# 3601 Highpoint Drive

Tract N-40 Highpoint Drive being all of Lots N-38, N-39 and N-40, of Lakeside Village Phase IV, an Addition to the City of Rockwall, Rockwall County, Texas, according to the plat thereof recorded in Cabinet A, Slide 164, Plat Records, Rockwall County, Texas.



### LEGEND

- 1/2" ROD FOUND
- ⊗ 1/2" ROD SET
- 3/8" ROD FOUND
- ⊗ "X" FOUND/SET
- ⊗ 5/8" ROD FOUND
- ◆ POINT FOR CORNER
- FENCE POST FOR CORNER
- CM CONTROLLING MONUMENT
- AC AIR CONDITIONER
- PE POOL EQUIPMENT
- TE TRANSFORMER PAD
- COLUMN
- POWER POLE
- ▲ UNDERGROUND ELECTRIC
- △ OVERHEAD ELECTRIC
- TELE TELEPHONE PEDESTAL
- BL BUILDING LINE
- AE AERIAL EASEMENT
- SSE SANITARY SEWER EASEMENT
- GM GAS METER
- WM WATER METER
- LP LIGHT POLE
- UE UTILITY EASEMENT
- OHP— OVERHEAD ELECTRIC POWER
- OES— OVERHEAD ELECTRIC SERVICE
- CHAIN LINK
- WOOD FENCE 0.5' WIDE TYPICAL
- |— IRON FENCE
- X— BARBED WIRE
- DOUBLE SIDED WOOD FENCE
- /// EDGE OF ASPHALT
- ▲ EDGE OF GRAVEL
- CONCRETE
- COVERED AREA
- BRICK
- STONE



### EXCEPTIONS:

NOTE: PROPERTY SUBJECT TO TERMS, CONDITIONS, AND EASEMENTS CONTAINED IN INSTRUMENTS RECORDED IN  
 Volume 99, Page 130; Volume 116, Page 784; Volume 131, Page 1;  
 Volume 3398, Page 161; Volume 3412, Page 117; Volume 3476, Page 192;  
 Volume 4302, Page 277; Volume 4546, Page 158; Volume 5059, Page 185;  
 Volume 5392, Page 222; Volume 6254, Page 134; Volume 6785, Page 284;  
 Volume 6785, Page 289; Volume 6785, Page 293; Volume 6785, Page 298;  
 Volume 6785, Page 301; Volume 6785, Page 308; Volume 6785, Page 317,  
 2014-13247; 2018-12323; and 2020-132

EASEMENTS RECORDED IN THE FOLLOWING VOLUMES AND PAGES DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY  
 Volume 48, Page 390, Volume 56, Page 183, Volume 99, Page 154, Volume 128 Page 343

Date: \_\_\_\_\_ Accepted by: \_\_\_\_\_  
 Purchaser \_\_\_\_\_  
 Purchaser \_\_\_\_\_

### NOTES:

NOTE: BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

FLOOD NOTE: According to the F.I.R.M. No. 48397C0040L, this property does lie in Zone X and DOES NOT lie within the 100 year flood zone.

This survey is made in conjunction with the information provided by National Title Lathram POU and Associates. Use of this survey by any other parties and/or for other purposes shall be at user's own risk and any loss resulting from other use shall not be the responsibility of the undersigned. This is to certify that I have on this date made a careful and accurate survey on the ground of the subject property. The plat hereon is a correct and accurate representation of the property lines and dimensions as indicated; location and type of buildings are as shown; and EXCEPT AS SHOWN, there are no visible and apparent encroachments or protrusions on the ground.

Drawn By: DC

Scale: 1" = 20'

Date: 08/21/2023

GF No.: 782301485

Job No. 2313254



419 Century Plaza Dr., Ste. 210  
 Houston, TX 77073  
 P 281.443.9288  
 F 281.443.9224  
 Firm No. 10194280  
 www.cbgtllc.com





# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-055

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

### ADJACENT HOUSING ATTRIBUTES

| ADDRESS              | HOUSING TYPE       | YEAR BUILT | HOUSE SF | ACCESSORY BUILDING | EXTERIOR MATERIALS |
|----------------------|--------------------|------------|----------|--------------------|--------------------|
| 3501 Highpoint Drive | Single-Family Home | 1979       | 3,197    | N/A                | Stucco             |
| 3502 Highpoint Drive | Single-Family Home | 1984       | 5,075    | N/A                | Stucco             |
| 3503 Highpoint Drive | Single-Family Home | 1984       | 2,702    | N/A                | Stucco             |
| 3504 Highpoint Drive | Single-Family Home | 1986       | 2,427    | N/A                | Stucco             |
| 3506 Highpoint Drive | Single-Family Home | 1986       | 2,178    | N/A                | Stucco             |
| 3508 Highpoint Drive | Single-Family Home | 1986       | 2,625    | 100                | Stucco             |
| 3601 Highpoint Drive | Vacant             | N/A        | N/A      | N/A                | N/A                |
| 3602 Highpoint Drive | Single-Family Home | 1986       | 2,175    | N/A                | Stucco             |
| 3603 Highpoint Drive | Single-Family Home | 2018       | 4,076    | N/A                | Stucco             |
| 3604 Highpoint Drive | Single-Family Home | 1986       | 2,598    | N/A                | Stucco             |
| 3605 Highpoint Drive | Single-Family Home | 2001       | 3,039    | N/A                | Stucco             |
| 3606 Highpoint Drive | Single-Family Home | 1986       | 2,131    | N/A                | Stucco             |
| 3608 Highpoint Drive | Single-Family Home | 1986       | 2,240    | N/A                | Stucco             |
| AVERAGES:            |                    | 1989       | 2,872    | 100                |                    |



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-055

**PLANNING AND ZONING DEPARTMENT**

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PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



3501 Highpoint Drive



3502 Highpoint Drive



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-055

**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



3503 Highpoint Drive



3504 Highpoint Drive





## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-055

**PLANNING AND ZONING DEPARTMENT**

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PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



3506 Highpoint Drive



3508 Highpoint Drive



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-055

**PLANNING AND ZONING DEPARTMENT**

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PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



3601 Highpoint Drive



3602 Highpoint Drive



## CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-055

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



3603 Highpoint Drive



3604 Highpoint Drive



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-055

**PLANNING AND ZONING DEPARTMENT**

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



3605 Highpoint Drive



3606 Highpoint Drive



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-055

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



3608 Highpoint Drive

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 2 (PD-2) AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL ADJACENT TO AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.2070-ACRE TRACT OF LAND, IDENTIFIED AS LOTS N38, N39 & N40 OF LAKESIDE VILLAGE, PHASE 4 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Dean Cathey of Dean Cathy Custom Homes, LLC for the approval of a *Specific Use Permit (SUP) for Residential Infill Adjacent to an Established Subdivision* on a 0.207-acre tract of land identified as Lots N38, N39 & N40 of Lakeside Village, Phase 4 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 2 (PD-2), addressed as 3601 Highpoint Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] and Planned Development District 2 (PD-2) of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That Planned Development District 2 (PD-2) and the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home adjacent to an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, Planned Development District 2 (PD-2) -- as heretofore amended and may be amended in the future -- and with the following conditions:

### **2.1 OPERATIONAL CONDITIONS**

The following conditions pertain to the construction of a single-family home and on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

### **2.2 COMPLIANCE**

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>th</sup> DAY OF FEBRUARY, 2024.**

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

1<sup>st</sup> Reading: January 16, 2024

2<sup>nd</sup> Reading: February 5, 2024



**Exhibit 'A':**  
*Location Map*

Address: 3601 Highpoint Drive

Legal Description: Lots N38, N39 & N40 of Lakeside Village, Phase 4 Addition

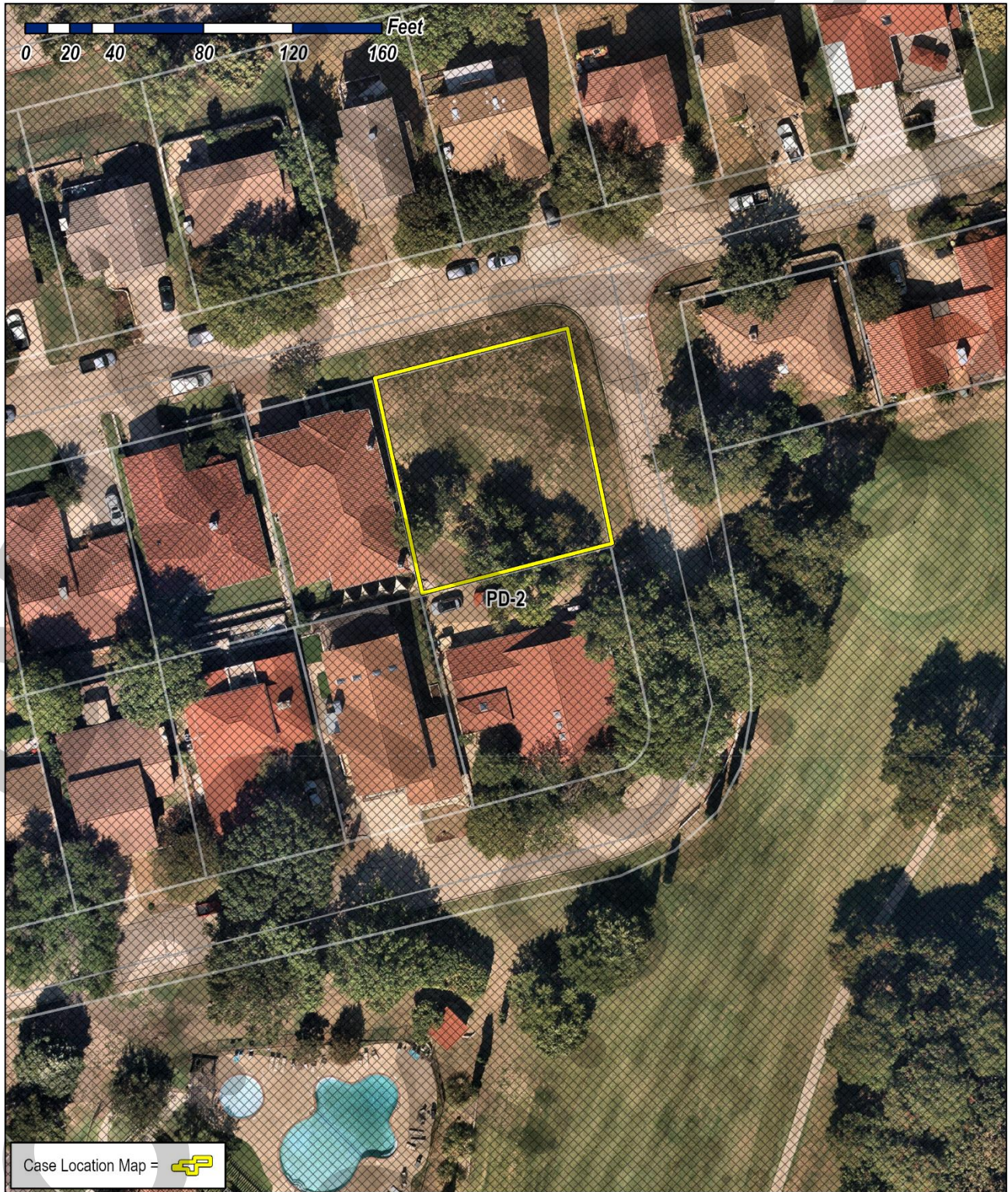
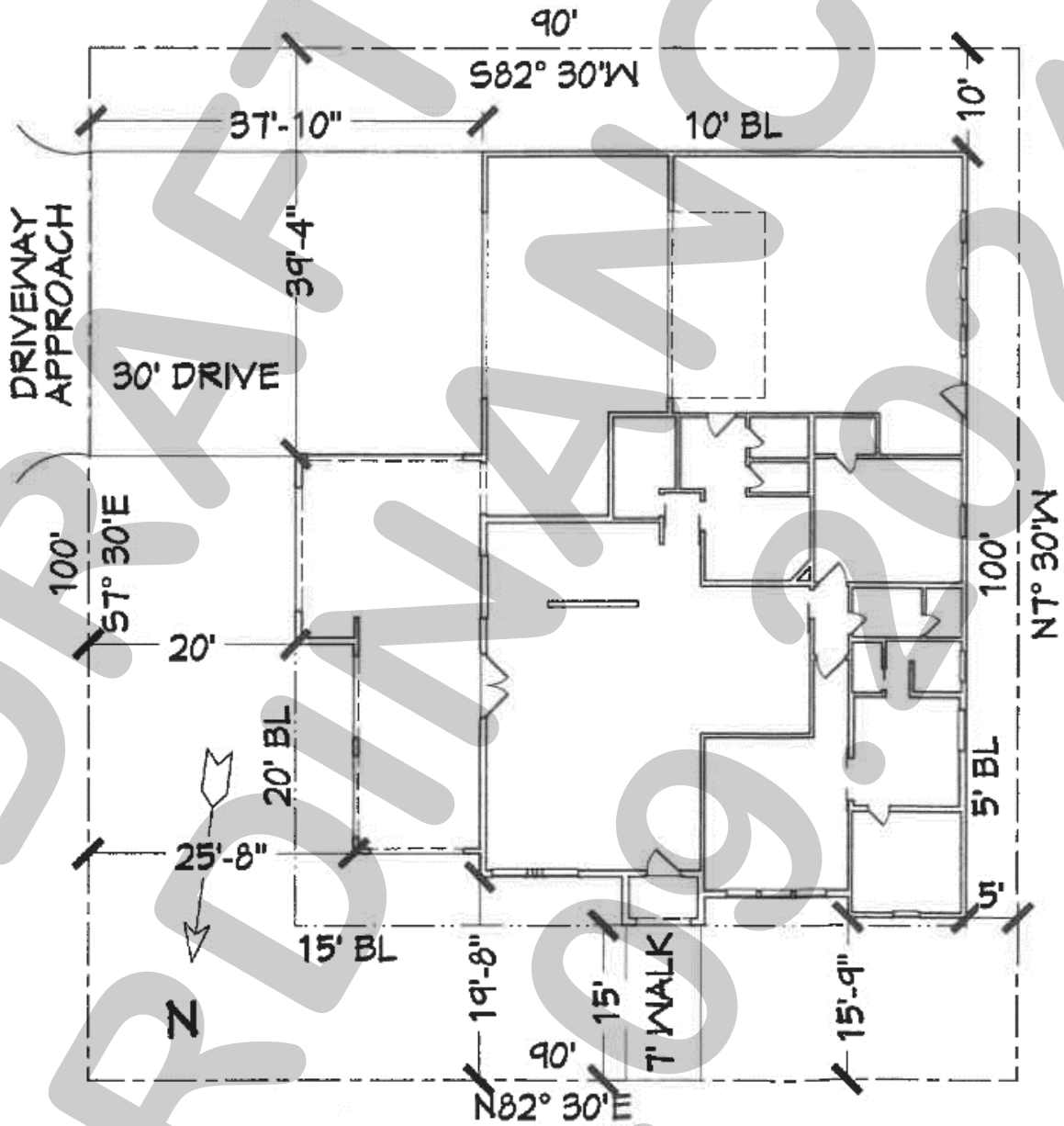


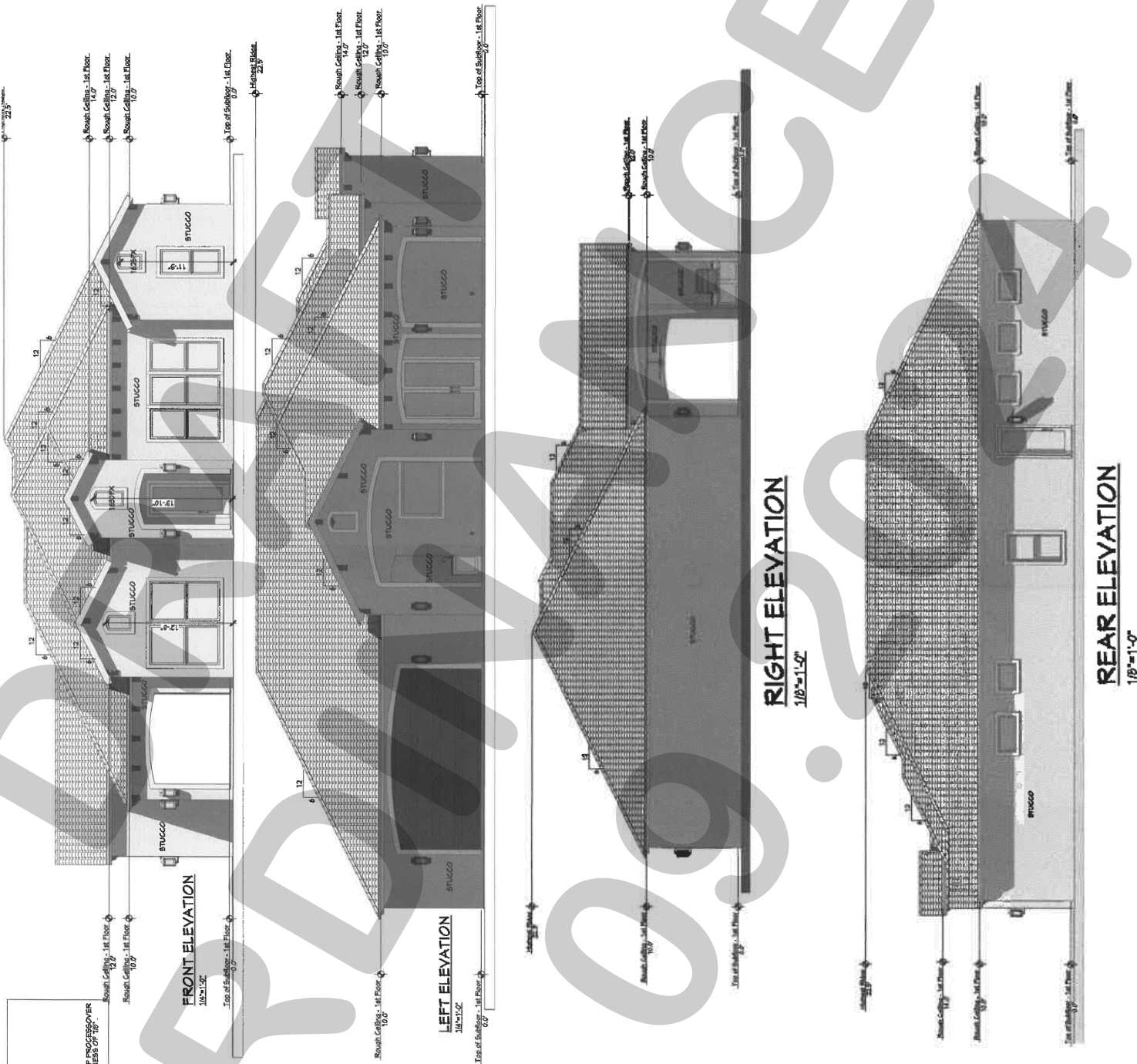
Exhibit 'B':  
Residential Plot Plan

LOT = 9,000  
FOOTPRINT = 3,998  
COVERAGE = 44%



**PLOT PLAN**  
1" = 10'-0"

**Exhibit 'C':  
Building Elevations**





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** January 9, 2024  
**APPLICANT:** Paul Arce  
**CASE NUMBER:** Z2023-056; *Specific Use Permit (SUP) for a Residential Infill Adjacent to an Established Subdivision for 295 Harborview Drive*

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### SUMMARY

Hold a public hearing to discuss and consider a request by Paul Arce on behalf of Kisanet Ghebretsadik for the approval of a Specific Use Permit (SUP) for *Residential Adjacent to an Established Subdivision* for the purpose of constructing a single-family home on a 0.1377-acre parcel of land identified as Lot 22, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 295 Harborview Drive, and take any action necessary.

### BACKGROUND

The subject property was annexed into the City of Rockwall on October 30, 1973 by *Ordinance No. 73-43 (Case No. A1973-005)*. At the time of annexation, the property was zoned Agricultural (AG) District. The subject property was rezoned to Planned Development District 8 (PD-8) by *Ordinance No. 73-48* on November 12, 1973. Phase 2 of Harborview Landing was later amended by *Ordinance No. 84-16* on April 2, 1984. A Preliminary Plat (*Case No. PZ1987-022-01*) and Final Plat (*Case No. PZ1987-030-01*) were approved on January 1, 1987. A resolution authorizing the settlement of a lawsuit regarding maximum rooftop elevation, maximum pad elevation, and maximum house height was adopted by *Ordinance No. 87-19* on June 15, 1987. A resolution of the City Council of the City of Rockwall clarifying the content of *Ordinance No. 84-16* was adopted on June 15, 1987. On August 7, 2023, the City Council adopted *Ordinance No. 23-40* consolidating all of the ordinances associated with Planned Development District 8 (PD-8); however, no changes were made affecting the subject property. The subject property has remained zoned Planned Development District 8 (PD-8) and has been vacant since it was annexed.

### PURPOSE

The applicant -- *Paul Arce* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

### ADJACENT LAND USES AND ACCESS

The subject property is addressed as 295 Harborview Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Harborview Drive, which is a private roadway that is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) vacant parcels of land (*i.e. 308 & 310 Harborview Drive*) and two (2) parcels of land developed with single-family homes (*i.e. 306 & 312 Harborview Drive*). North of this is Portview Place, which is a private roadway that is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property Henry M. Chandler Drive, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this is a vacant 2.564-acre tract of land (*i.e. Tract 134-12 of the E. Teal Survey, Abstract No. 207*). Beyond this is an additional 2.316-acre vacant tract of land (*i.e. Lot 4, Block A, Spyglass Hill #4 Addition*). Both of these properties are zoned Planned Development District 8 (PD-8) and are currently under development for the Marina Village Subdivision.

East: Directly east of the subject property are four (4) parcels of land (*i.e. 293 Harborview and 201, 203, & 205 Harbor Landing Drive*) developed with single-family homes. Beyond this is Harbor Landing Drive, which is a private roadway that is identified as a R2 (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of this is the remainder of Phase 1 of the Harbor Landing Subdivision, which was established on December 22, 1986, and consists of 38 residential lots. Following this is a portion of a vacant 6.242-acre tract of land (*i.e. Tract 134-06 of the E. Teal Survey, Abstract No. 207*) that serves as open space for the Chandler's Landing Subdivision. All of these properties are zoned Planned Development District 8 (PD-8).

West: Directly west of the subject property is a vacant parcel of land (*i.e. 295 Harborview Drive*) zoned Planned Development District 8 (PD-8). West of this is the Lake Ray Hubbard Takeline and the Chandler's Landing Marina. Beyond this is the corporate limits of the City of Rockwall followed by Lake Ray Hubbard, which is owned and maintained by the City of Dallas.

**CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY'S CODES**

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as "(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out." An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as "...a subdivision that consists of five (5) or more lots, that is 90.00% developed, and that has been in existence for more than ten (10) years." In this case, the subject property is adjacent to Phase 1 of the Harbor Landing Subdivision, which has been in existence since December 22, 1986 and consists of 38 residential lots, and is 100.00% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in a Planned Development District for single-family land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, "...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ..." The following is a summary of observations concerning the housing on Harborview Drive compared to the house proposed by the applicant:

| Housing Design and Characteristics | Existing Housing on Harborview Drive   | Proposed Housing  |
|------------------------------------|--|---|
| Building Height                    | Two (2) Story  | Three (3) Story   |
| Building Orientation               | Most of the homes are oriented towards their front property line.                        | The front elevation of the home will face onto Harborview Drive |
| Year Built                         | 2012-2020  | N/A   |
| Building SF on Property            | 2,330 SF – 4,982 SF  | 5,443 SF  |
| Building Architecture              | Traditional Brick/Stucco and Modern Contemporary   | Modern Contemporary   |
| Building Setbacks:                 |  |   |
| Front                              | The front yard setbacks appear to conform to the required 20-foot front yard setback.    | 25-Feet, 2-Inches   |
| Side                               | The side yard setbacks appear to conform to the required six (6) foot side yard setback. | 6-Feet  |
| Rear                               | The rear yard setbacks appear conform to the   | 21-Feet, 7-Inches   |

|                    |  |   |
|--------------------|--|---|
|                    | required ten (10) feet rear yard setback.  |   |
| Building Materials | Brick, Stone, Stucco   | Stucco, Stone, Metal  |
| Paint and Color    | Red, Tan, Brown, Grey, White, Black  | White, Brown, Grey  |
| Roofs              | Composite Shingles, Metal Roofs  | Composite Shingles  |
| Driveways          | Driveways are all in the front with the orientations being <i>flat front entry</i> . | The garage is proposed to be situated even with the front façade of the home. |

In this case, the applicant is proposing a single-family home that is not conforming to two (2) standards outlined in the Unified Development Code (UDC). These are as follows:

- (1) Garage Orientation. According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), "(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ..." In this case, the proposed garage is located even with the front façade of the single-family home. When looking at this non-conformity, staff should point out that since the construction range for housing in this phase of the Harbor Landing Subdivision extends from 1992-2000, there are several examples of houses in this area that have a similar garage configuration.
- (2) Roof Pitch. According to Subsection 03.01(A), *General Residential District Standards* of Article 05, *District Development Standards*, of the Unified Development Code (UDC), all residential structures shall be constructed with a minimum 3:12 roof pitch. In this case, the applicant is requesting a single-family home with roof pitches of 1:12 and 2:12. Staff should point out that there are other homes in this phase of the Harbor Landing Subdivision with roofs that are similar to the roof design being proposed by the applicant.

With this being said, the approval of a waiver to the garage orientation or roof pitch requirements is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If approved as part of the Specific Use Permit (SUP) request, the Planning and Zoning Commission and City Council would be waiving these requirements. With the exception of these two (2) deviations from the *General Residential Standards*, the rest of the request does appear to be in conformance with the density and dimensional requirements stipulated by Planned Development District 8 [*Ordinance No. 85-43*] and the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Harborview Drive and the proposed building elevations in the attached packet.

**NOTIFICATIONS**

On December 19, 2023, staff mailed 133 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Chandler’s Landing, The Cabana at Chandler’s Landing, Match Point Townhomes, Cutter Hill Phase 1, Cutter Hill Phase 2, Cutter Hill Phase 3, Spyglass Phases 2 & 3, and Spyglass Phase 1 Homeowner’s Associations (HOAs), which are the only HOA’s or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) notice in favor of the applicant’s request.

**CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to recommend approval of the applicant’s request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
  - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit ‘B’* of the draft ordinance.
  - (b) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations

depicted in *Exhibit 'C'* of the draft ordinance; and,

- (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STATE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1 & 2</sup> **\$215**
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **295 Harborview DR. Rockwall TX 75032**

SUBDIVISION \_\_\_\_\_ LOT \_\_\_\_\_ BLOCK \_\_\_\_\_

GENERAL LOCATION \_\_\_\_\_

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING \_\_\_\_\_ CURRENT USE \_\_\_\_\_

PROPOSED ZONING \_\_\_\_\_ PROPOSED USE \_\_\_\_\_

ACREAGE \_\_\_\_\_ LOTS [CURRENT] \_\_\_\_\_ LOTS [PROPOSED] \_\_\_\_\_

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

|                   |                                      |   |                              |
|-------------------|--------------------------------------|---|------------------------------|
| OWNER             | <b>KISANET GHEBRETSADIK</b>          | <input checked="" type="checkbox"/> APPLICANT | <b>Paul Arce</b>             |
| CONTACT PERSON    | _____                                | CONTACT PERSON                                | _____                        |
| ADDRESS           | <b>297 BLACKHAW DR</b>               | ADDRESS                                       | <b>5807 Ranger Dr</b>        |
| CITY, STATE & ZIP | <b>FATE, TX 75087</b>                | CITY, STATE & ZIP                             | <b>Rockwall TX 75032</b>     |
| PHONE             | <b>206-351-9741</b>                  | PHONE   | <b>(972) 365-6823</b>        |
| E-MAIL            | <b>KISANETGHEBRETSADIK@gmail.com</b> | E-MAIL  | <b>paularce tx@yahoo.com</b> |

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED **TRAVELDE ABREHAM** [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ **10.00** TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE **14/12/23** DAY OF **DECEMBER**, 20**23** BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

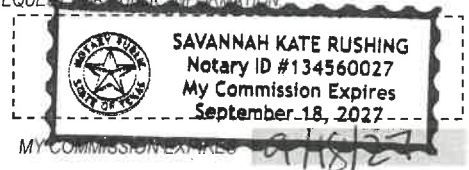
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE **14** DAY OF **12** 20**23**

OWNER'S SIGNATURE

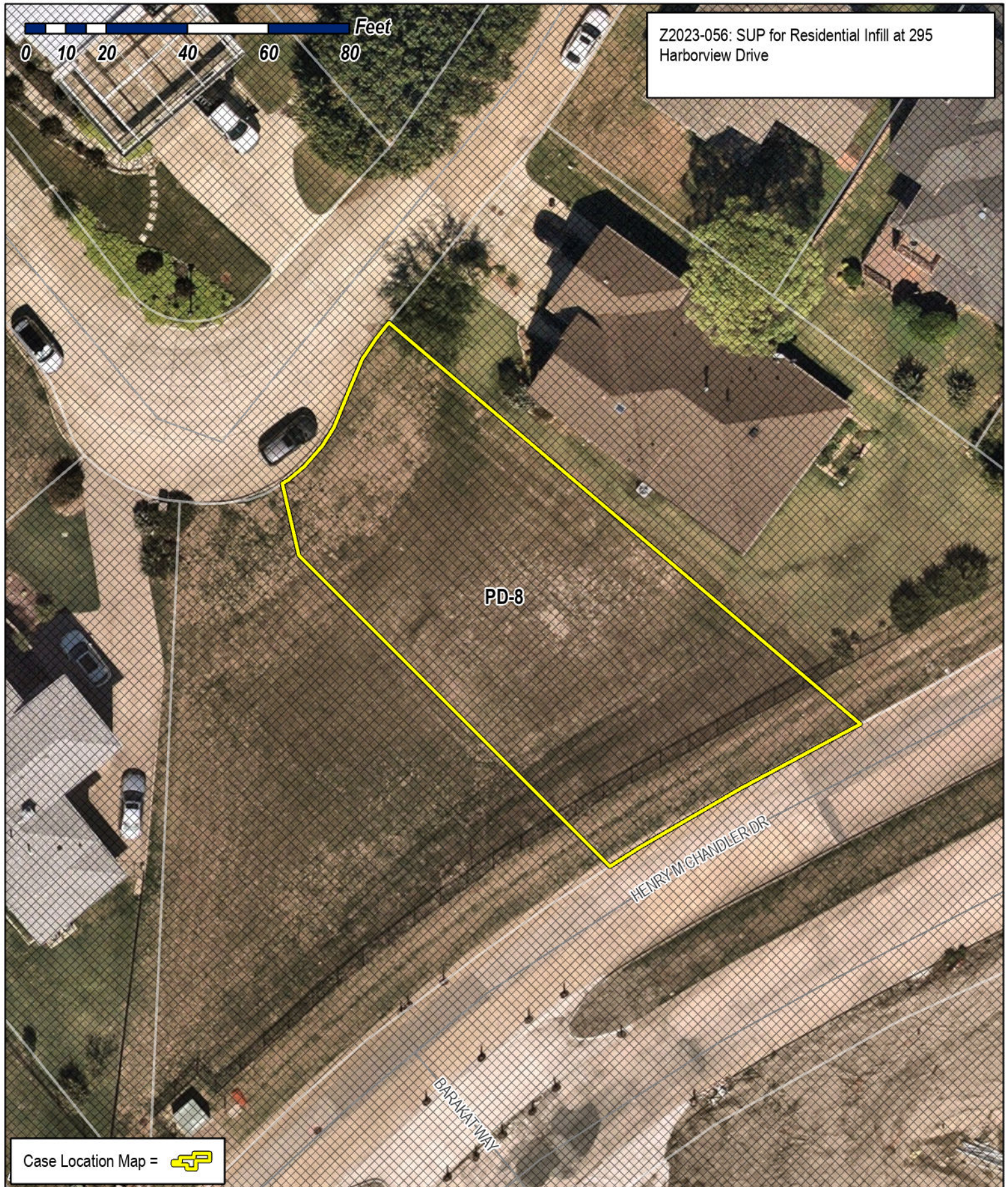
**Kisanet**

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

**SKUS**








Z2023-056: SUP for Residential Infill at 295 Harborview Drive

PD-8

HENRY MCHANDLER DR

BARAKATWAY

Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

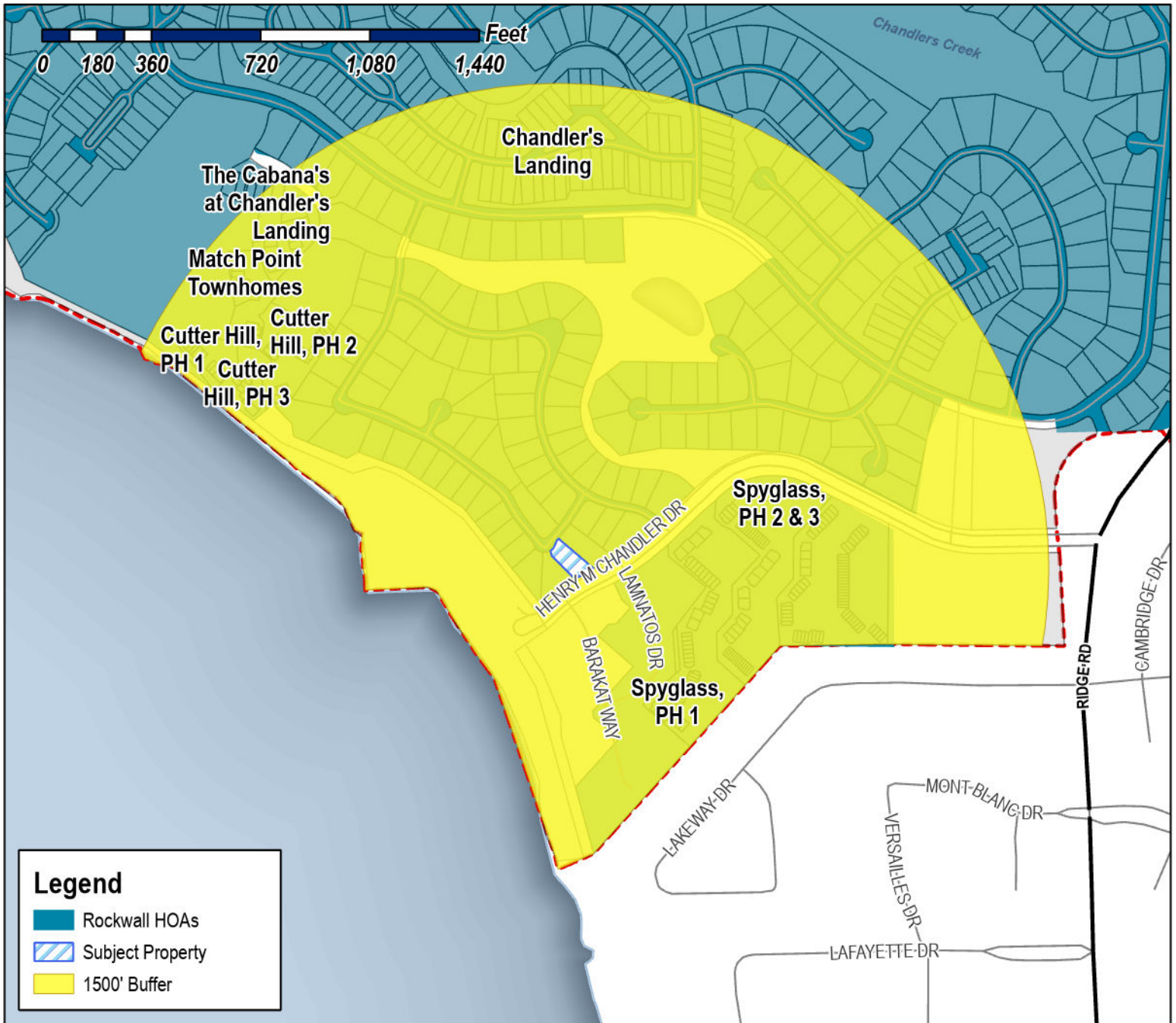




# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
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**Case Number:** Z2023-056  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 8 (PD-8)  
**Case Address:** 295 Harborview Drive

**Date Saved:** 12/15/2023  
 For Questions on this Case Call (972) 771-7745



## Lee, Henry

---

**From:** Zavala, Melanie  
**Sent:** Tuesday, December 19, 2023 10:14 AM  
**Cc:** Miller, Ryan; Guevara, Angelica; Lee, Henry  
**Subject:** Neighborhood Notification Program [Z2023-056]  
**Attachments:** Public Notice (P&Z).pdf; HOA Map (12.15.2023).pdf

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on *Friday December 22, 2023*. The Planning and Zoning Commission will hold a public hearing on *Tuesday, January 9, 2024 at 6:00 PM*, and the City Council will hold a public hearing on *Tuesday, January 16, 2024 at 6:00 PM*. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to [Planning@rockwall.com](mailto:Planning@rockwall.com) at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website: <https://sites.google.com/site/rockwallplanning/development/development-cases>.

### **Z2023-056: SUP for Residential Infill**

*Hold a public hearing to discuss and consider a request by Paul Arce on behalf of Kisanet Ghebretsadik for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1377-acre parcel of land identified as Lot 22, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 295 Harborview Drive, and take any action necessary.*

Thank you,

***Melanie Zavala***

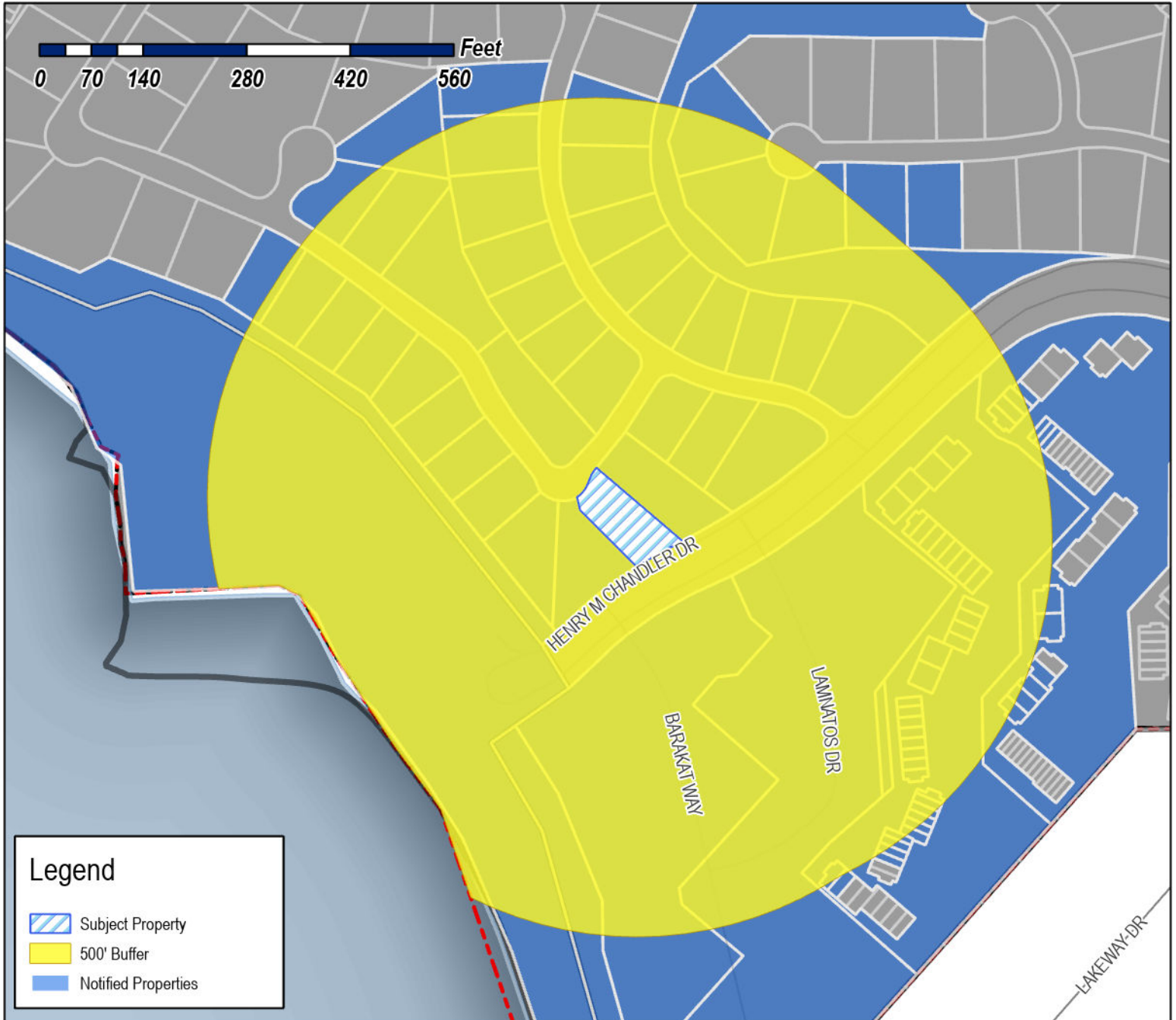
Planning & Zoning Coordinator | Planning Dept. | City of Rockwall  
385 S. Goliad Street | Rockwall, TX 75087  
<http://www.rockwall.com/>  
972-771-7745 Ext. 6568



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



**Case Number:** Z2023-056  
**Case Name:** SUP for Residential Infill  
**Case Type:** Zoning  
**Zoning:** Planned Development District 8 (PD-8)  
**Case Address:** 295 Harborview Drive

**Date Saved:** 12/15/2023

For Questions on this Case Call: (972) 771-7746



CHANDLERS LANDING COMMUNITY ASSOC  
1 COMMODORE PLAZA  
ROCKWALL, TX 75032

SESSUMS BILLY A  
10 CLARKSVILLE ST  
PARIS, TX 75460

NGUYEN ANGELINA  
1025 LAKE RIDGE DR  
RICHARDSON, TX 75081

L T L FAMILY HOLDINGS LLC  
106 SAWGRASS DR  
ROCKWALL, TX 75032

L T L FAMILY HOLDINGS LLC  
106 SAWGRASS DR  
ROCKWALL, TX 75032

STRANN MICHAEL RAY  
112 OLD GLORY LN  
FORNEY, TX 75126

SRP SUB, LLC  
1131 W WARNER RD STE 102  
SCOTTSDALE, AZ 85284

WEBSTER PROPERTIES LTD  
115 DEFENDER C  
ROCKWALL, TX 75032

SANCHEZ RAMSES S  
120 APPIAN WAY  
DALLAS, TX 75216

RESIDENT  
132 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
136 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

LEDE' HOWARD G AND ANNETTE M  
1360 GOLD COAST DRIVE  
ROCKWALL, TX 75087

RESIDENT  
137 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
138 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
146 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
147 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

MACLEOD LYNN  
149 HENRY CHANDLER DR  
ROCKWALL, TX 75032

PARNES ALEXANDRA  
15 KESTREL CT  
ROCKWALL, TX 75032

RESIDENT  
150 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
155 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
155 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
156 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
157 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
158 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
159 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
160 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
161 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

COUGHLIN DIANE AND BRIAN FOULKS  
162 HENRY M CHANDLER DRIVE UNIT 162  
ROCKWALL, TX 75032

RESIDENT  
163 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
164 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

LB QUALITY HOMES LLC  
1651 N COLLINS BLVD STE 260  
RICHARDSON, TX 75080

RESIDENT  
166 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

KUPERMAN IGOR  
166 HENRY M CHANDLER  
ROCKWALL, TX 75032

RESIDENT  
167 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

BURNETT JAMES AND ELIZABETH  
168 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
169 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
170 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
171 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
172 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
173 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RAY HUBBARD SMI JV LLC  
17330 PRESTON ROAD SUITE 220A  
DALLAS, TX 75252

RESIDENT  
175 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

MCKNIGHT MARY D  
201 HARBOR LANDING DR  
ROCKWALL, TX 75032

WILSON SEAN  
202 HARBOR LANDING DR  
ROCKWALL, TX 75032

PETERSON LELAND D & JANET  
203 HARBOR LANDING DR  
ROCKWALL, TX 75032

BERNAL LIBIA AMAYA AND  
CARLOS AUGUSTO MOSQUERA  
204 HARBOR LANDING  
ROCKWALL, TX 75032

RESIDENT  
205 HARBOR LANDING DR  
ROCKWALL, TX 75032

KNABLE MICHAEL D REVOCABLE TRUST  
MICHAEL D KNABLE TRUSTEE  
205 BENTON DRIVE APT 1202  
ALLEN, TX 75013

D'AMBROSIA DEAN AND MUSTAFA OMAR  
206 HARBOR LANDING DR  
ROCKWALL, TX 75032

MCNAMES JOSEPH AND KIRSTEN  
208 HARBOR LANDING DRIVE  
ROCKWALL, TX 75032

ROMER ENTERPRISES, LLC  
2101 BRISBON STREET  
FATE, TX 75189

HUYNH ANN LE  
2206 STONE HOLLOW DRIVE  
ROWLETT, TX 75088

RESIDENT  
236 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
237 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
238 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
249 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
250 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

KIM SEOK H  
2516 WOODHAVEN DR  
FLOWER MOUND, TX 75028

POWELL ALEAH D  
259 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
260 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

NANCE LAYLA SHALON  
261 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

CARNEY DON  
262 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
263 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
264 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
267 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
268 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

FERRIS BETH ANN  
269 HENRY M CHANDLER DRIVE UNIT 269  
ROCKWALL, TX 75032

RESIDENT  
270 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

LEMONS BRADLEY & SHARON  
2706 WHISPERING OAKS  
ROCKWALL, TX 75087

RESIDENT  
271 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
272 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
273 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

MASON JANIS E  
275 HENRY M CHANDLER DR UNIT 3  
ROCKWALL, TX 75032

AMERICAN CONDO CORP OF HOUSTON  
2807 EASTGROVE LN  
HOUSTON, TX 77027

BALLARD AMANDA L &  
MATTHEW WEST BALLARD  
28106 WHISPERING MAPLE WAY  
SPRING, TX 77386

AMERSON GARY W AND DEBRA J  
293 HARBORVIEW DR  
ROCKWALL, TX 75032

RESIDENT  
295 HARBORVIEW DR  
ROCKWALL, TX 75032

GHEBRETSADIK KISANET  
295 BLACKHAW DR  
FATE, TX 75087

RESIDENT  
297 HARBORVIEW DR  
ROCKWALL, TX 75032

O'DELL CLAUDETTE & KENNETH  
299 HARBORVIEW DRIVE  
ROCKWALL, TX 75032

RESIDENT  
301 HARBORVIEW DR  
ROCKWALL, TX 75032

MILLER RICHARD & SHELLAYNE  
301 HARBOR LANDING DRIVE  
ROCKWALL, TX 75032

SERRANO CHRISTIAN  
301 VILLAGE DR APT 307  
KING OF PRUSSIA, PA 19406

GENTLE BILL  
302 HARBOR LANDING DR  
ROCKWALL, TX 75032

RESIDENT  
303 HARBORVIEW DR  
ROCKWALL, TX 75032

MUSSER CRAIG AND SHEILA  
303 HARBOR LANDING DR  
ROCKWALL, TX 75032

CRIDER MICHAEL & LINDA C  
304 HARBOR LANDING DR  
ROCKWALL, TX 75032

POTISKA ANDREA  
305 HARBOR LANDING DR  
ROCKWALL, TX 75032

CONFIDENTIAL  
305 HARBORVIEW DR  
ROCKWALL, TX 75032

CLEATON JERRY LEE  
306 HARBOR LANDING DRIVE  
ROCKWALL, TX 75032

CAMACHO MARC AND JARITA  
306 HARBORVIEW DR  
ROCKWALL, TX 75032

CARRINGTON BRADLEY T AND KARI  
307 HARBOR LANDING DR  
ROCKWALL, TX 75032

CROMEENS SHAN  
307 HARBORVIEW DR  
ROCKWALL, TX 75032

RESIDENT  
308 HARBORVIEW DR  
ROCKWALL, TX 75032

DE LA GARZA DOLLY ANNE  
308 HARBOR LANDING DR  
ROCKWALL, TX 75032

RESIDENT  
309 HARBORVIEW DR  
ROCKWALL, TX 75032

LARK KENNETH LAWRENCE & MAURITA NICOLE  
309 HARBOR LANDING DR  
ROCKWALL, TX 75032

RESIDENT  
310 HARBORVIEW DR  
ROCKWALL, TX 75032

RESIDENT  
310 HARBORVIEW DR  
ROCKWALL, TX 75032

LEWIS DENNIS & CLARISSA  
310 HARBOR LANDING DR  
ROCKWALL, TX 75032

TAYLOR ANTHONY  
311 HARBOR LANDING  
ROCKWALL, TX 75032

RECINOS ARNOLDO AND RUTH LIMA  
311 HARBORVIEW DR  
ROCKWALL, TX 75032

BARHAM ARTHUR LLOYD JR AND ANITA L  
312 PORTVIEW PL  
ROCKWALL, TX 75032

TCHAKAROV SVETLIN G AND  
ROSSITZA I POPOVA  
313 HARBOR LANDING DRIVE  
ROCKWALL, TX 75032

MASSEY MICHAEL J AND CHERYL R  
313 HARBORVIEW DR  
HEATH, TX 75032

PENCE DENNIS AND DIANNA  
314 PORTVIEW PL  
ROCKWALL, TX 75032

ROSS THOMAS AND VICKIE  
315 HARBORVIEW DR  
ROCKWALL, TX 75032

RESIDENT  
338 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

KEITH BENJAMIN AND  
SHERYL KEITH  
3403 WATERVIEW TRAIL  
ROCKWALL, TX 75087

RESIDENT  
371 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
372 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
373 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

RESIDENT  
374 HENRY M CHANDLER DR  
ROCKWALL, TX 75032

NELSON FAMILY LIVING TRUST  
JERRY C NELSON AND MARIBETH NELSON-  
TRUSTEES  
410 COLUMBIA DRIVE  
ROCKWALL, TX 75032

FRONTERA JOSE ANTONIO & CAROLINE  
4241 BUENA VISTA #18  
DALLAS, TX 75205

MCHALE JOHN D JR  
457 LAURENCE DRIVE SUTIE 168  
HEATH, TX 75032

SCHARF ALLEN J  
501 VILLAGE DR APT 307  
KING OF PRUSSA, PA 19406

SCHARF ALLEN J  
501 VILLAGE DR APT 307  
KING OF PRUSSA, PA 19406

M & H PROPERTIES INC  
5575 CANADA CT  
ROCKWALL, TX 75032

MCCLOY STEPHANIE JOAN  
5575 CANADA CT  
ROCKWALL, TX 75032



BRENDA BEJARANO REVOCABLE TRUST  
BRENDA BEJARANO- TRUSTEE  
6105 VOLUNTEER PLACE  
ROCKWALL, TX 75032

BRYNE PATRICK AND LAURA KRUSE  
6107 VOLUNTEER PLACE  
ROCKWALL, TX 75032

P&P PAINTING REPAIRS AND REMODELING  
6109 PLANTATION LN  
FLOWER MOUND, TX 75022

P&P PAINTING REPAIRS AND REMODELING  
6109 PLANTATION LN  
FLOWER MOUND, TX 75022

MARSH ELIZABETH AND JACK  
6109 VOLUNTEER PL  
ROCKWALL, TX 75032

BROWN BRYAN K  
6111 VOLUNTEER PL  
ROCKWALL, TX 75032

MAZUR MELISSA  
6112 VOLUNTEER PL  
ROCKWALL, TX 75032

BLASSINGAME KENNETH E ETUX  
6227 HIGHGATE LN  
DALLAS, TX 75214

JOHNSON FAMILY TRUST  
628 SHADOW WOOD LN  
HEATH, TX 75032

RESIDENT  
7 GREENBELT  
ROCKWALL, TX 75032

ARMSTRONG D  
804 EAGLE PASS  
HEATH, TX 75032

KLINE LINDA ANN MULLANE  
8090 FRANKFORD RD APT 119  
DALLAS, TX 75252

ARA MANAGEMENT LLC  
9906 LINCOLNSHIRE LN  
ROCKWALL, TX 75087

# PUBLIC NOTICE



CITY OF ROCKWALL  
PLANNING AND ZONING DEPARTMENT  
PHONE: (972) 771-7745  
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

**Z2023-056: SUP for Residential Infill**

Hold a public hearing to discuss and consider a request by Paul Arce on behalf of Kisanet Ghebretsadik for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision for the purpose of constructing a single-family home on a 0.1377-acre parcel of land identified as Lot 22, Block B, Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8), addressed as 295 Harborview Drive, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, January 9, 2024 at 6:00 PM, and the City Council will hold a public hearing on Tuesday, January 16, 2024 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

**Angelica Guevara**  
Rockwall Planning and Zoning Dept.  
385 S. Goliad Street  
Rockwall, TX 75087

You may also email your comments to the Planning Department at [planning@rockwall.com](mailto:planning@rockwall.com). If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Tuesday, January 16, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

**Ryan Miller, AICP**  
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

**Case No. Z2023-056: SUP for Residential Infill**

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

[Empty form area for comments]

Name: [Input field]  
Address: [Input field]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted comment area]

Name:

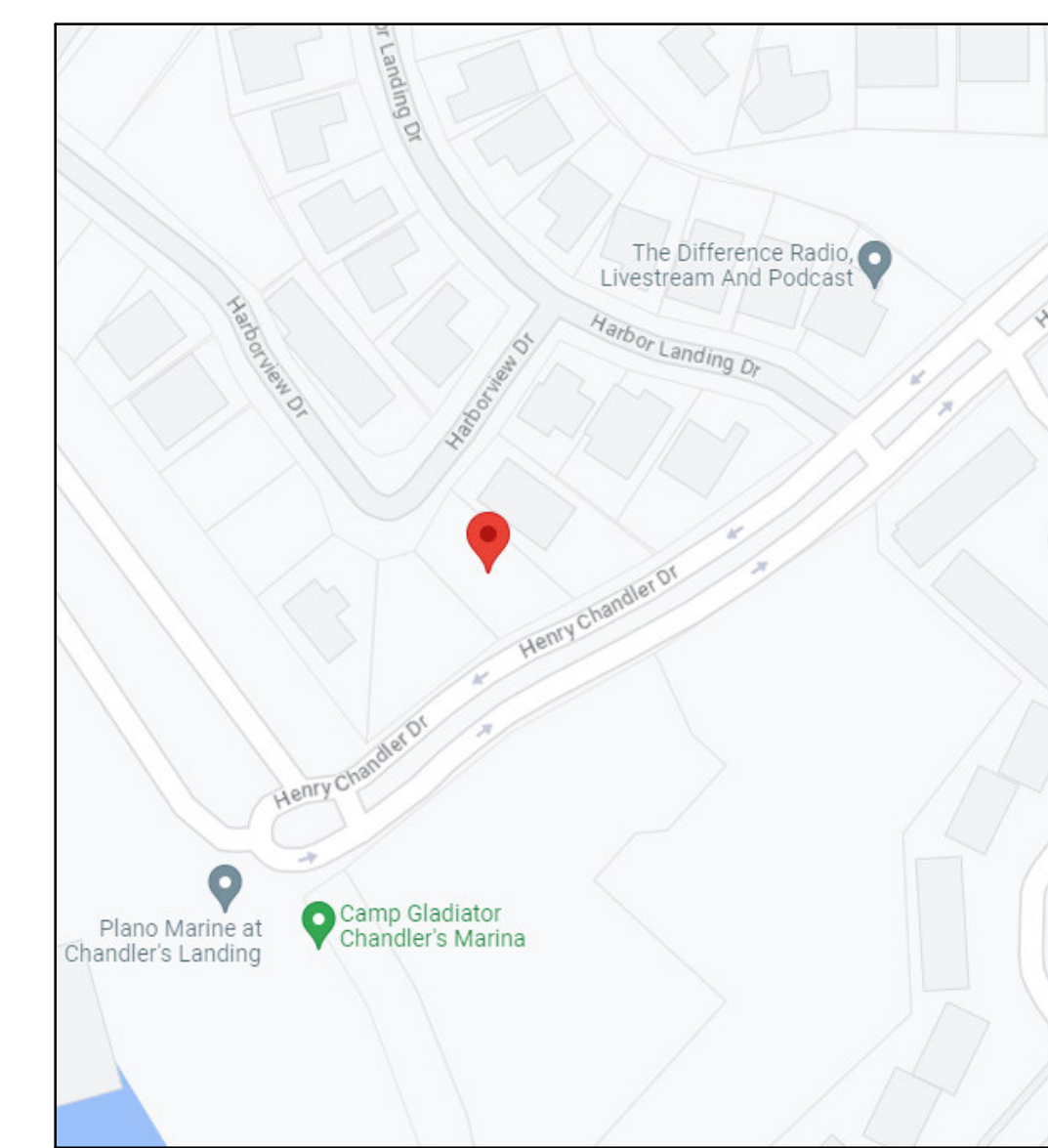
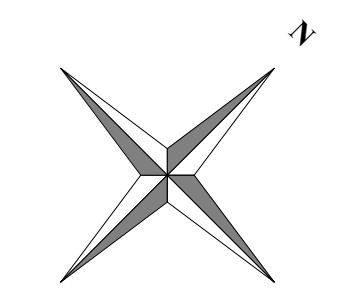
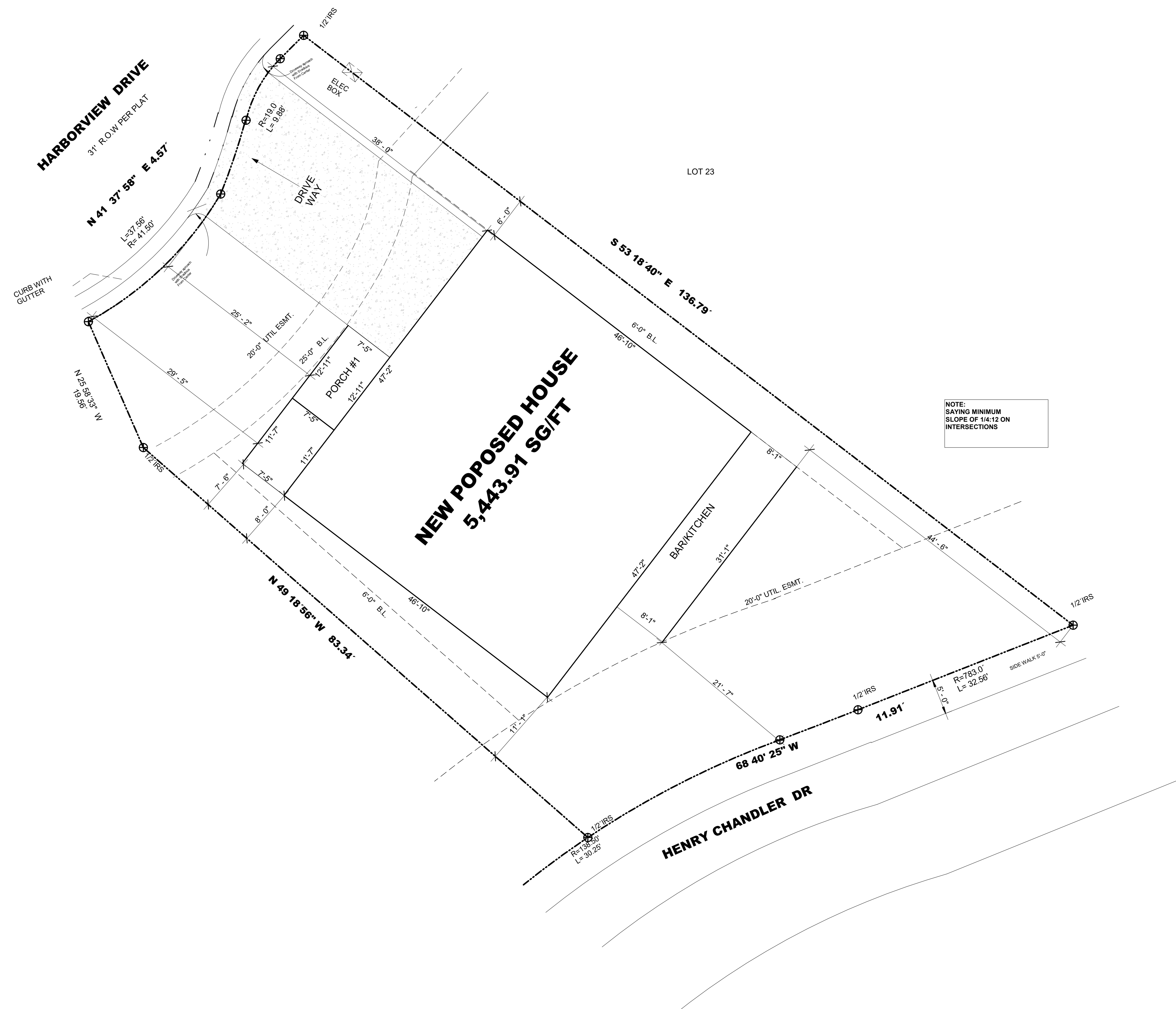
Michael and Linda C. Crider

Address:

[Redacted address]

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

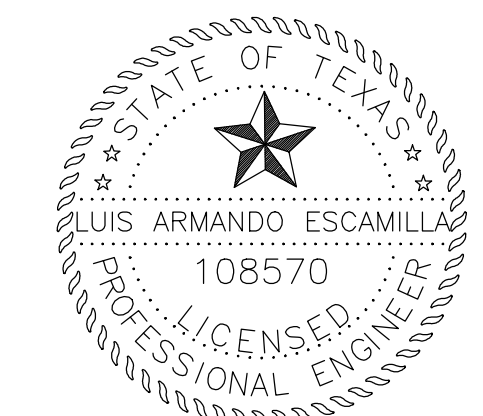
PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



VICINITY MAP

**295 HARBORVIEW DR,  
ROCKWALL, TX 75032**

|                               |                       |
|-------------------------------|-----------------------|
| Proposed First Floor Plan     | 1,740 SG/FT           |
| Proposed Second Floor Plan    | 1,640 SG/FT           |
| Proposed Third Floor Plan     | 468 SG/FT             |
| <b>Total New Construction</b> | <b>3,848 SG/FT</b>    |
| Proposed Garage               | 564 SG/FT             |
| Proposed Porch #1             | 96 SG/FT              |
| Proposed Bar/ Kitchen         | 251.91 SG/FT          |
| Proposed Balcony #1           | 120 SG/FT             |
| Proposed Balcony #2           | 108 SG/FT             |
| Proposed Porch #2             | 48 SG/FT              |
| Proposed Terrace              | 408 SG/FT             |
| <b>Total New Construction</b> | <b>5,443.91 SG/FT</b> |
| Lot                           | 22                    |
| Country                       | Rockwall              |
| City                          | Rockwall              |
| Lot Area                      | <b>0.14 Acres</b>     |
| Max Lot Coverage              | 35%                   |
| Lot Coverage                  | 65%                   |



10/07/2023  
FIRM# 18123

*L. Escamilla*



THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, WE WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

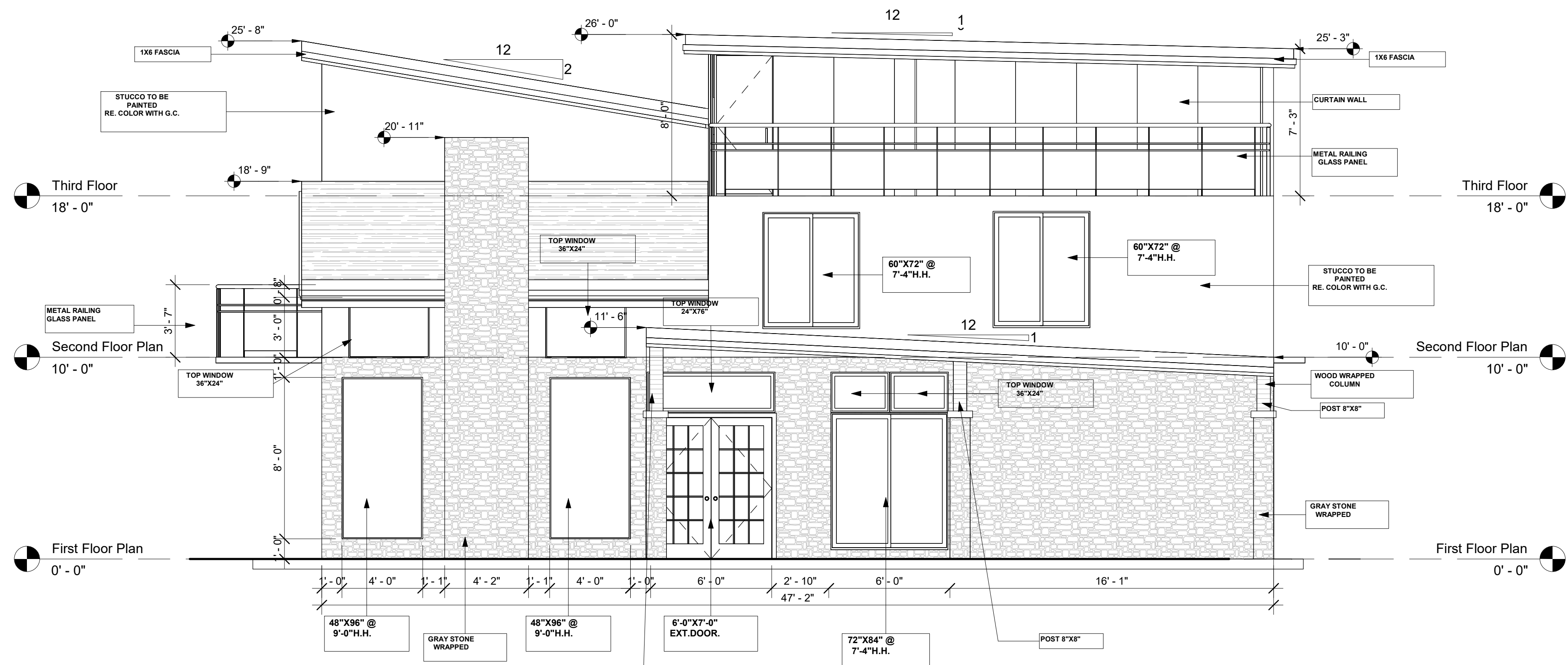
**Project Name & Address**  
295 HARBORVIEW DR,  
ROCKWALL, TX 75032

**Legal Description**  
LOT 22, BLOCK B

**SITE PLAN**

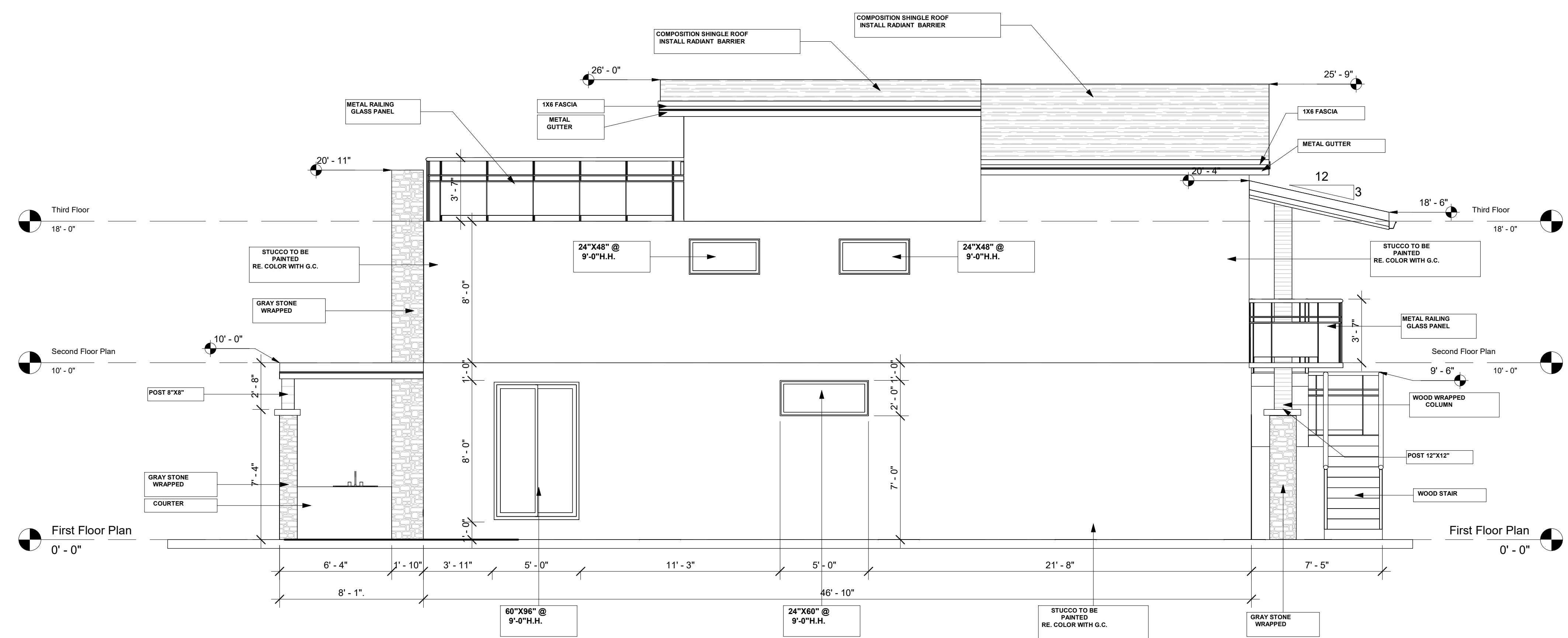
Date: 9/29/2023      Scale: 1/8" = 1'-0"

Drawn by: Projects & Construction Araque



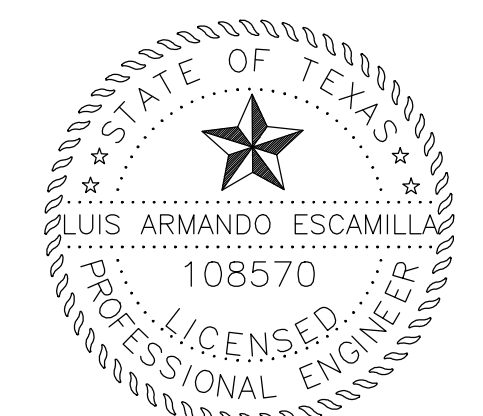
**1 REAR ELEVATION**

1/4" = 1'-0"



**2 LEFT ELEVATION**

1/4" = 1'-0"



10/07/2023  
FIRM# 18123

*L. Escamilla*



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**Project Name & Address**  
295 HARBORVIEW DR,  
ROCKWALL, TX 75032  
**Legal Description**  
LOT 22, BLOCK B

**ELEVATIONS**

|  |           |       |              |
|--|-----------|-------|--------------|
| Date:                                    | 9/29/2023 | Scale | 1/4" = 1'-0" |
| Drawn by: Projects & Construction Araque |           |       |              |



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**Project Name & Address**  
 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

**RENDER\_FRONT**

Date: 9/29/2023 Scale  
 Drawn by: Projects & Construction Araque



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**Project Name & Address**  
 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

**RENDER\_RIGHT**

Date: 9/29/2023 Scale  
 Drawn by: Projects & Construction Araque

12.1



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**Project Name & Address**  
 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

**RENDER\_REAR**

Date: 9/29/2023 Scale  
 Drawn by: Projects & Construction Araque

12.2





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**Project Name & Address**  
 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

**RENDER\_LEFT**

Date: 9/29/2023 Scale  
 Drawn by: Projects & Construction Araque

12.3



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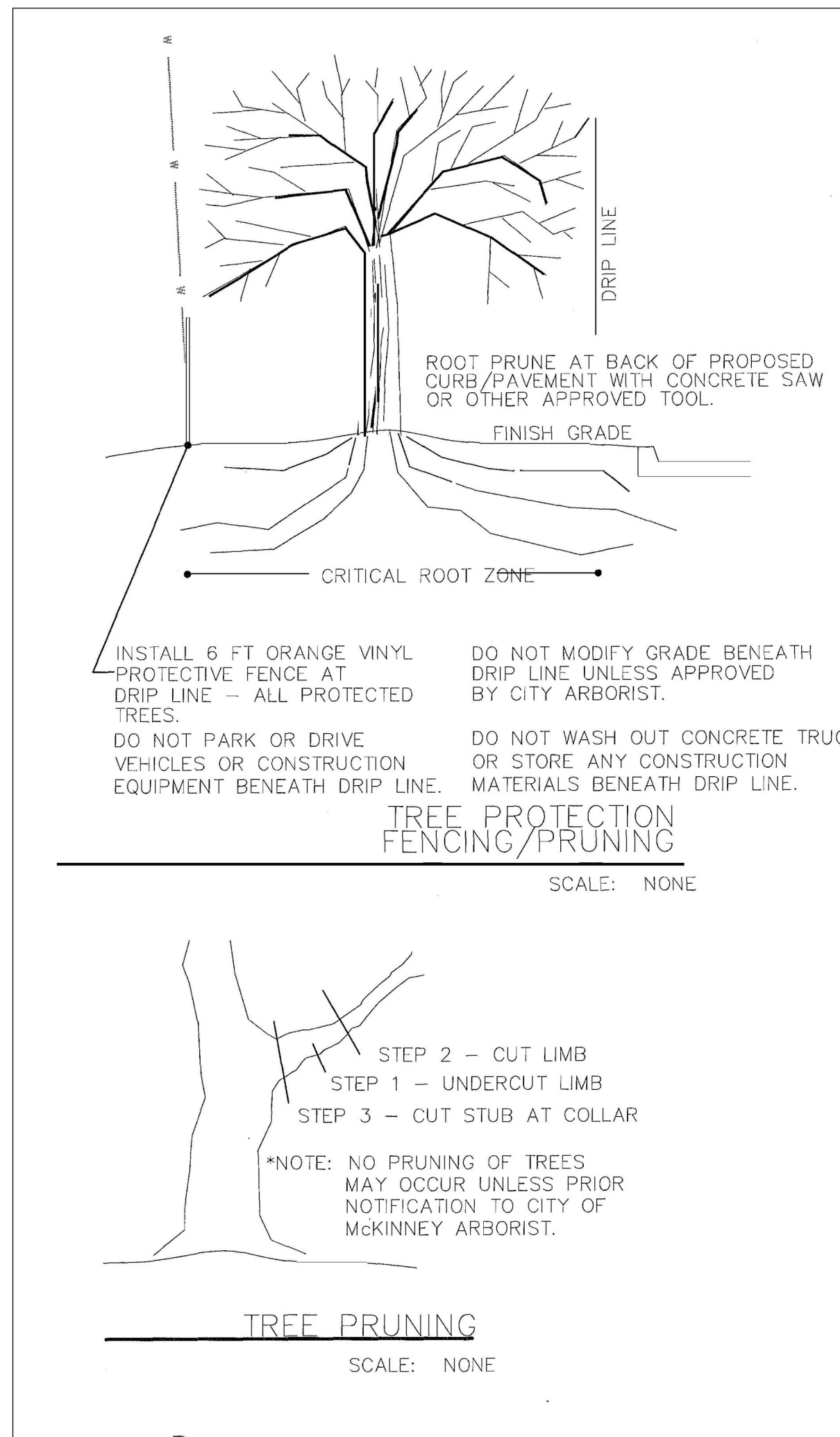
**Project Name & Address**  
 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032  
**Legal Description**  
 LOT 22, BLOCK B

**RENDER**

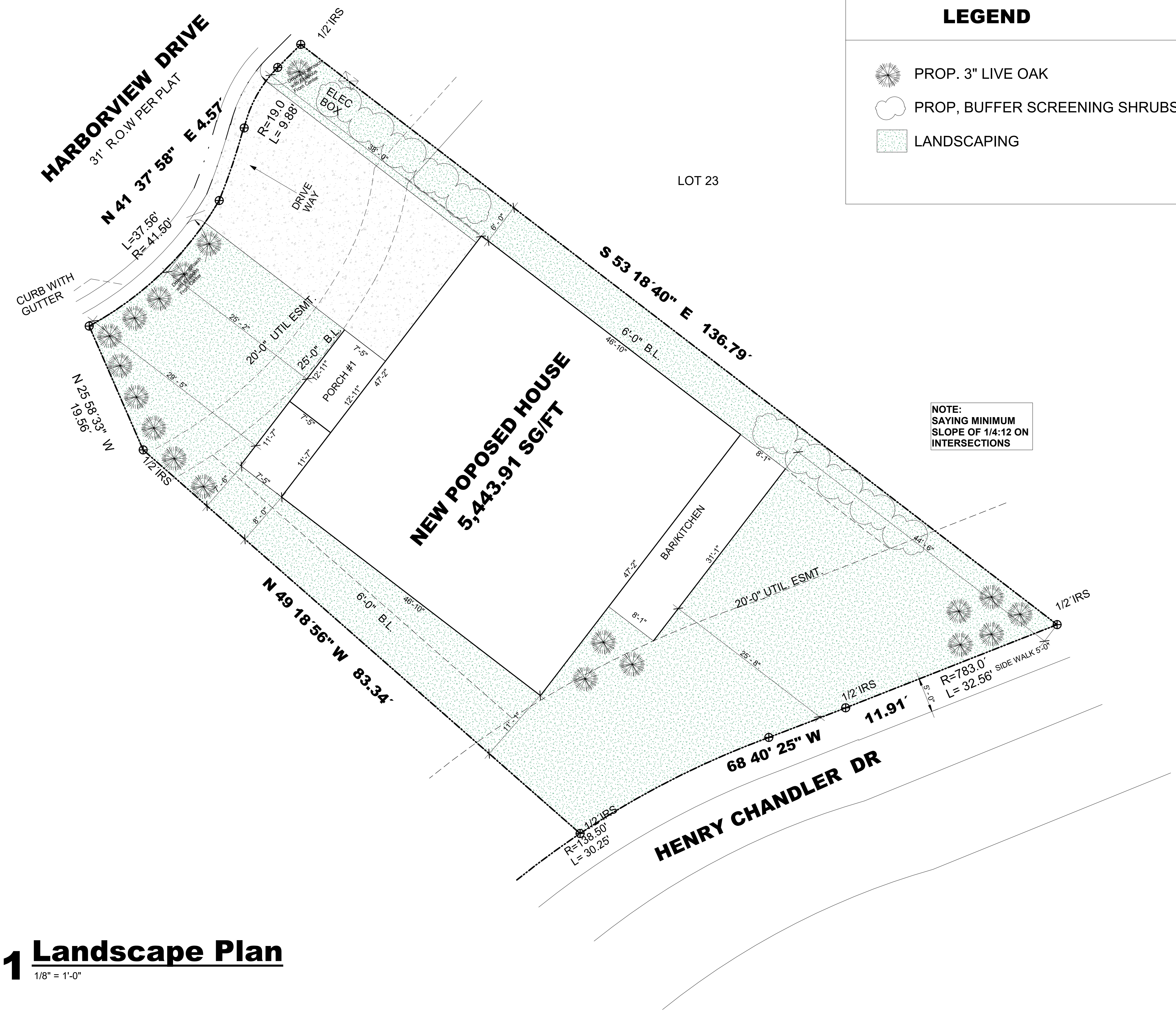
Date: 9/29/2023 Scale  
 Drawn by: Projects & Construction Araque

12.4

# DETAIL

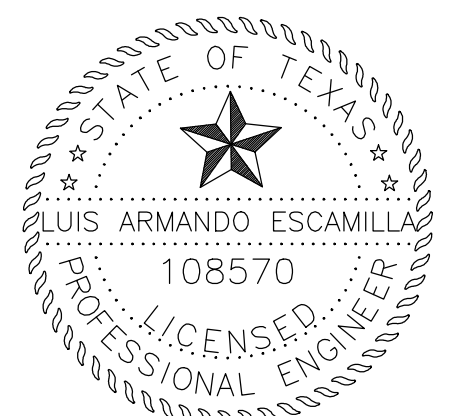


**HARBORVIEW DRIVE**  
 31' ROW PER PLAT



## 1 Landscape Plan

1/8" = 1'-0"



10/07/2023  
 FIRM# 18123

*L. Escamilla*



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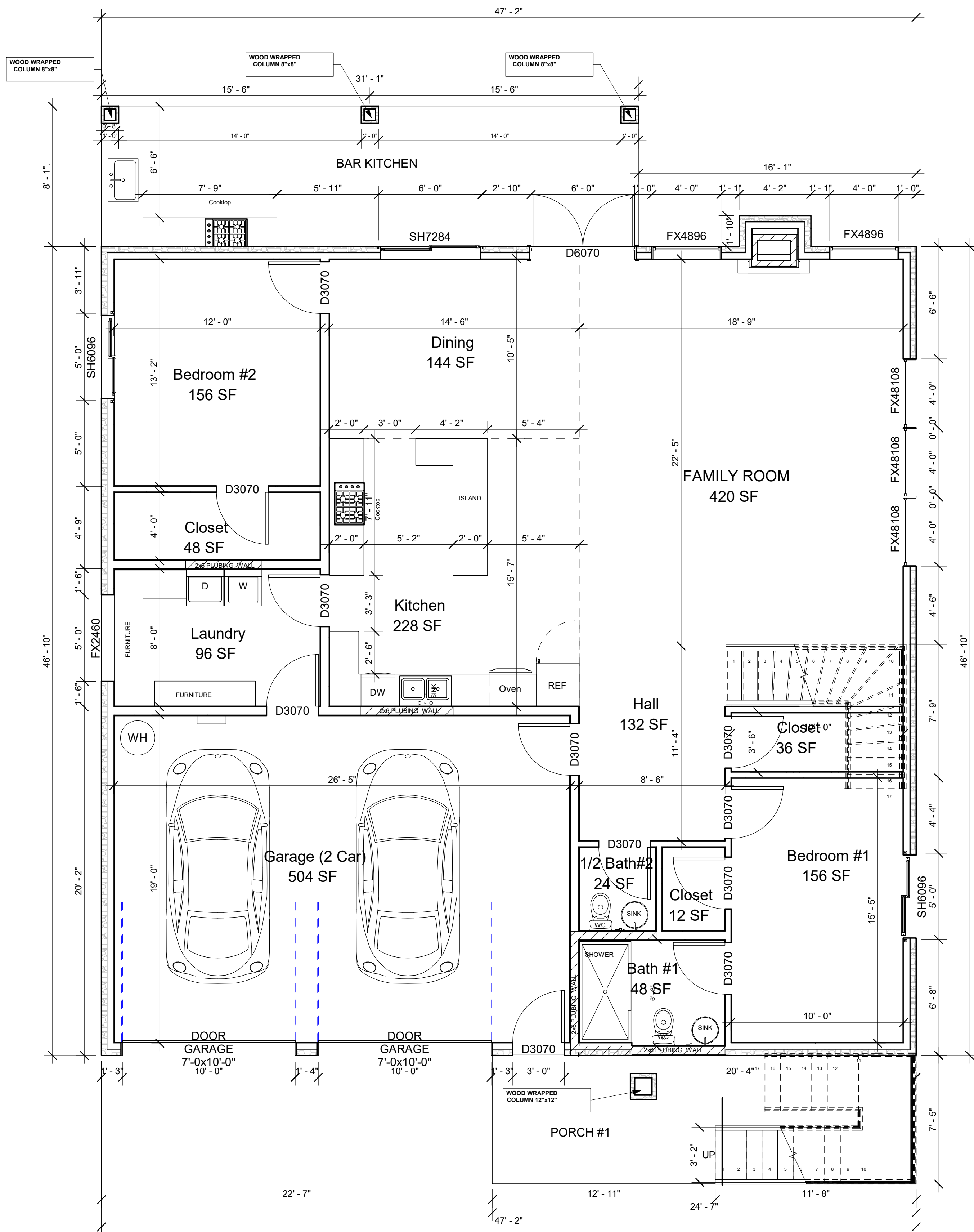
**Project Name & Address**  
 295 HARBORVIEW DR,  
 ROCKWALL, TX 75032

**Legal Description**  
 LOT 22, BLOCK B

# LANDSCAPE PLAN

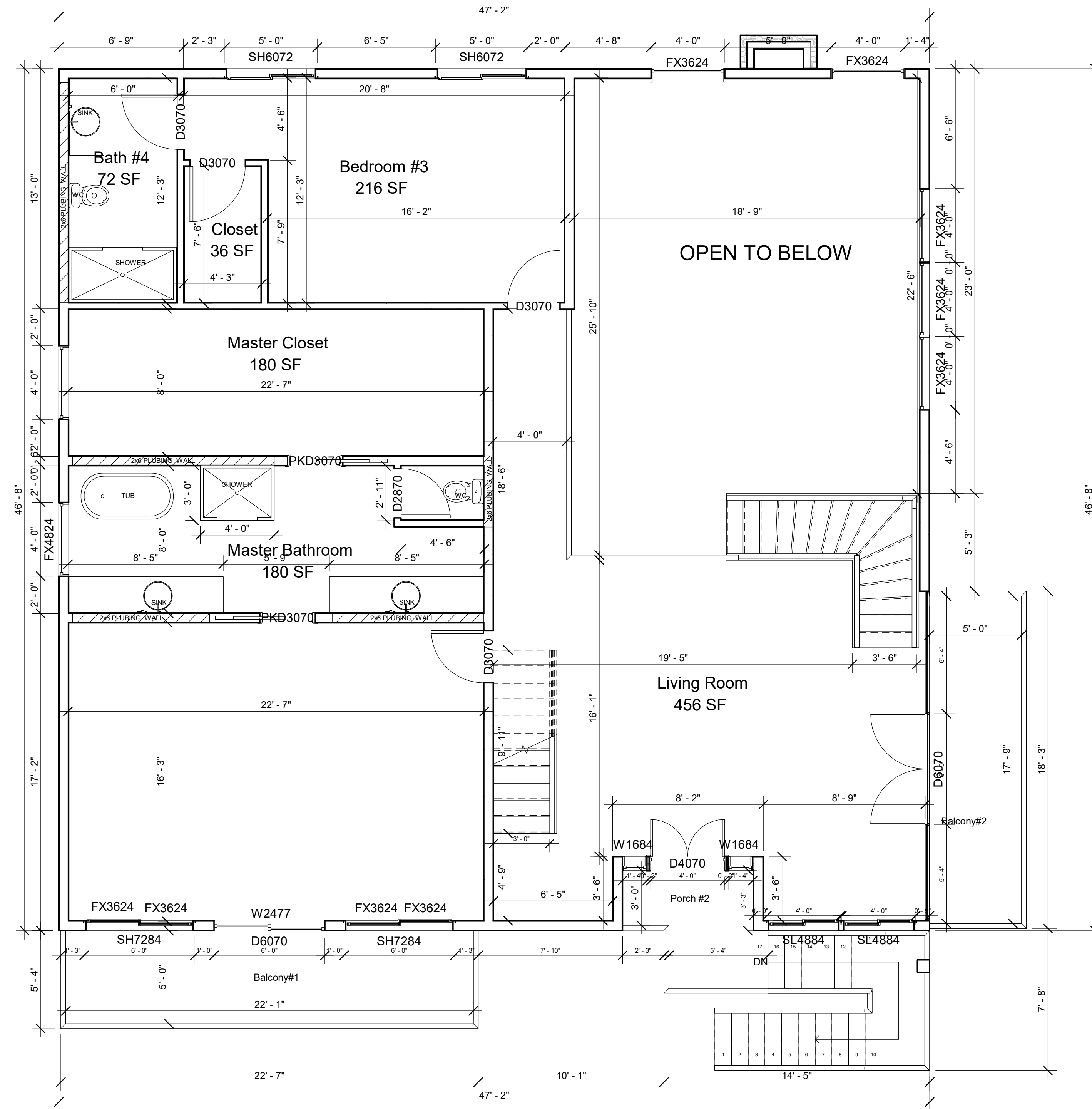
Date: 9/29/2023 Scale: 1/8" = 1'-0"

Drawn by: Projects & Construction Araque



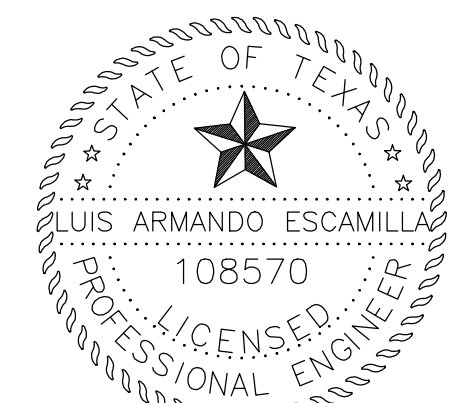
**1 First Floor Plan**

1/4" = 1'-0"



**2 Second Floor Plan**

1/4" = 1'-0"



10/07/2023  
FIRM# 18123

*L. Escamilla*



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**Project Name & Address**  
295 HARBORVIEW DR,  
ROCKWALL, TX 75032  
**Legal Description**  
LOT 22, BLOCK B

**FLOOR PLAN**

Date: 9/29/2023 Scale: 1/4" = 1'-0"

Drawn by: Projects & Construction Araque



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-056

## PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)

### ADJACENT HOUSING ATTRIBUTES

| ADDRESS            | HOUSING TYPE       | YEAR BUILT | HOUSE SF | ACCESSORY BUILDING | EXTERIOR MATERIALS        |
|--------------------|--------------------|------------|----------|--------------------|---------------------------|
| 201 Harbor Landing | Single-Family Home | 1988       | 3,560    | N/A                | Brick and Siding          |
| 203 Harbor Landing | Single-Family Home | 1993       | 4,145    | N/A                | Brick                     |
| 205 Harbor Landing | Single-Family Home | 1993       | 2,950    | N/A                | Brick and Siding          |
| 293 Harborview     | Single-Family Home | 2016       | 3,518    | N/A                | Brick and Stone           |
| 295 Harborview     | Vacant             | N/A        | N/A      | N/A                | N/A                       |
| 297 Harborview     | Vacant             | N/A        | N/A      | N/A                | N/A                       |
| 299 Harborview     | Single-Family Home | 2013       | 4,346    | N/A                | Brick, Stone, and Siding  |
| 301 Harbor Landing | Single-Family Home | 1994       | 4,158    | N/A                | Brick                     |
| 301 Harborview     | Vacant             | N/A        | N/A      | N/A                | N/A                       |
| 306 Harborview     | Single-Family Home | 2018       | 6,558    | N/A                | Stucco, Siding, and Stone |
| 307 Harborview     | Single-Family Home | 2020       | 4,275    | N/A                | Brick                     |
| 310 Harborview     | Vacant             | N/A        | N/A      | N/A                | N/A                       |
| AVERAGES:          |                    | 2004       | 4,189    | #DIV/0!            |                           |



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-056

## PLANNING AND ZONING DEPARTMENT

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201 Harbor Landing



203 Harbor Landing



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-056

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205 Harbor Landing



293 Harborview



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-056

**PLANNING AND ZONING DEPARTMENT**

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PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



295 Harborview



297 Harborview





# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-056

## PLANNING AND ZONING DEPARTMENT

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PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



299 Harborview



301 Harbor Landing



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-056

**PLANNING AND ZONING DEPARTMENT**

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PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



301 Harborview



306 Harborview



# CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-056

**PLANNING AND ZONING DEPARTMENT**

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PHONE: (972) 771-7745 • EMAIL: [PLANNING@ROCKWALL.COM](mailto:PLANNING@ROCKWALL.COM)



307 Harborview



310 Harborview

CITY OF ROCKWALL

ORDINANCE NO. 24-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 8 (PD-8) [*ORDINANCE NO. 23-40*] AND THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1377-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 22, BLOCK B, OF THE HARBOR LANDING, PHASE 2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City has received a request by Paul Arce for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1377-acre parcel of land identified as Lot 22, Block B, of the Harbor Landing, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] for Single-Family 7 (SF-7) District land uses, addressed as 295 Harborview Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

**WHEREAS**, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

**NOW, THEREFORE, BE IT ORDAINED** by the City Council of the City of Rockwall, Texas;

**SECTION 1.** That Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

**SECTION 2.** That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 8 (PD-8) [*Ordinance No. 23-40*] and Subsection 03.01, *General Residential District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

## **2.1 OPERATIONAL CONDITIONS**

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

## **2.2 COMPLIANCE**

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

**SECTION 3.** That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

**SECTION 4.** That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

**SECTION 5.** Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

**SECTION 6.** If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

**SECTION 7.** That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,  
THIS THE 5<sup>th</sup> DAY OF FEBRUARY, 2024.**

\_\_\_\_\_  
Trace Johannesen, *Mayor*

**ATTEST:**

\_\_\_\_\_  
Kristy Teague, *City Secretary*

**APPROVED AS TO FORM:**

\_\_\_\_\_  
Frank J. Garza, *City Attorney*

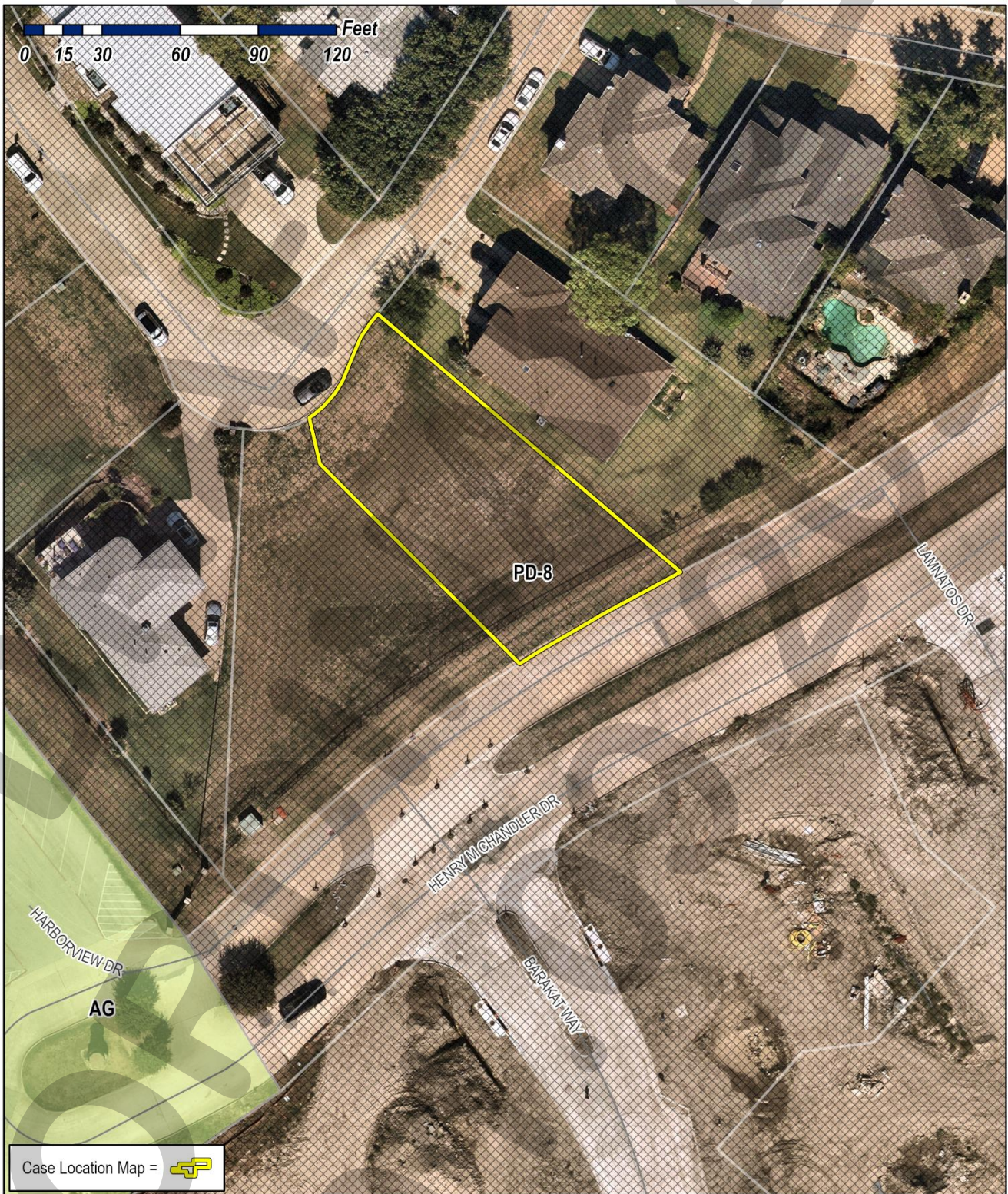
1<sup>st</sup> Reading: January 16, 2024

2<sup>nd</sup> Reading: February 5, 2024

**Exhibit 'A':**  
*Location Map*

Address: 295 Harborview Drive

Legal Description: Lot 22, Block B, Harbor Landing Phase 2 Addition







**Exhibit 'C':**  
*Building Elevations*



**Exhibit 'C':**  
*Building Elevations*





# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

---

**TO:** Planning and Zoning Commission  
**DATE:** January 9, 2024  
**APPLICANT:** Nick Hobbs; BGE, Inc.  
**CASE NUMBER:** SP2023-047; *Site Plan for a Grocery Store (HEB)*

---

### **SUMMARY**

Discuss and consider a request by Nick Hobbs of BGE, Inc. on behalf of Ben Scott of HEB, LP for the approval of a Site Plan for *Grocery Store (i.e. HEB)* on a 12.519-acre tract of land identified as Tracts 2 & 3 of the J. M. Allen Survey, Abstract No. 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 By-Pass Overlay (SH-205 BY-OV) District and the IH-30 Overlay (IH-30 OV) District, located at the southwest corner of the eastbound IH-30 Frontage Road and John King Boulevard, and take any action necessary.

### **BACKGROUND**

The subject property was annexed on September 16, 1974 by *Ordinance No.'s 74-25 & 74-27 (Case No's A1974-005 & A1974-007)*. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the June 3, 1977 *Historic Zoning Map*, at some point between the time of annexation and June 3, 1977 the subject property was rezoned from Agricultural (AG) District to Commercial (C) District. The subject property has remained vacant since the time of annexation.

### **PURPOSE**

On December 15, 2023, the applicant -- *Nick Hobbs of BGE, Inc* -- submitted an application requesting the approval of a Site Plan for the purpose of constructing a *Grocery Store (i.e. HEB)* on the subject property.

### **ADJACENT LAND USES AND ACCESS**

The subject property is located at the southwest corner of the eastbound IH-30 Frontage Road and John King Boulevard. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are the eastbound frontage roads for IH-30, followed by the main lanes for IH-30, and the westbound frontage roads for IH-30. Beyond this is a vacant 25.7125-acre tract of land (*i.e. Tract 3 of the J. Lockhart Survey, Abstract No. 134*) zoned Commercial (C) District and Light Industrial (LI) District.

South: Directly south of the subject property is a 32.6546-acre parcel of land (*i.e. Lot 1, Block A, Mansions Senior Addition*), developed with a multi-family, apartment complex (*i.e. Marquis Rockwall*), and zoned Planned Development District 10 (PD-10) for *Age-Restricted Multi-Family* and *Townhome* land uses. Beyond this is a 36.6546-acre parcel of land (*i.e. Lot 1, Block A, Mansions Family Addition*), developed with a multi-family, apartment complex (*i.e. Sixteen 50 Apartments*), and zoned Planned Development District 10 (PD-10) for *Multi-Family* and *Townhome* land uses. Following this is old State Highway 276 [SH-276], which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is S. John King Boulevard, which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 14.7506-acre parcel of land (*i.e. Lot 1, Block A, Nissan of Rockwall*

*Addition*), developed with a *Car Dealership*, and zoned Commercial (C) District and Light Industrial (LI) District. Adjacent to this property are several parcels of land that make up Phase 1 of the Rockwall Downes Subdivision, which is zoned Planned Development District 10 (PD-10) for *Townhomes* and *Single-Family Detached* land uses. Further east are several tracts of land developed with Light-Industrial (LI) District and Commercial (C) District land uses (i.e. *Park Place RV, Rockwall Mini Storage, Service King, Rockwall Kia*).

**West:** Directly west of the subject property are two (2) parcels of land (i.e. *Lot 1, Block 1, Honda of Rockwall Addition, and Lot 3, Block 1, Rockwall Recreational Addition*), developed with *Car Dealerships*, and zoned Commercial (C) District and Light Industrial (LI) District. Beyond this is Commerce Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is an overflow sales/inventory storage lot for the motor vehicle dealership operating at 1540 E. IH-30 (i.e. *Clay Cooley Hyundai of Rockwall*). This property is zoned Light Industrial (LI) District and has a Specific Use Permit (SUP) for a *New Motor Vehicle Dealership* (i.e. *S-189; Ordinance No. 18-22*).

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *General Retail Store* is permitted *by-right* in a in a Commercial (C) District. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District with the exception of the items noted in the *Variations and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

| <i>Ordinance Provisions</i>             | <i>Zoning District Standards</i>                  | <i>Conformance to the Standards</i>   |
|---|---|---------------------------------------|
| <i>Minimum Lot Area</i>                 | 12,500 SF   | X=12.52-acres; <i>In Conformance</i>  |
| <i>Minimum Lot frontage</i>             | 100-Feet  | X= 519.81-feet; <i>In Conformance</i> |
| <i>Minimum Lot Depth</i>                | 125-Feet  | X=519.81-feet; <i>In Conformance</i>  |
| <i>Minimum Front Yard Setback</i>       | 25-Feet   | X>25-feet; <i>In Conformance</i>      |
| <i>Minimum Rear Yard Setback</i>        | 20-Feet   | X>20-feet; <i>In Conformance</i>      |
| <i>Minimum Side Yard Setback</i>        | 20-Feet   | X>20-feet; <i>In Conformance</i>      |
| <i>Maximum Building Height</i>          | 60-Feet   | X=38.5-feet; <i>In Conformance</i>    |
| <i>Max Building/Lot Coverage</i>        | 60%   | X=23.30%; <i>In Conformance</i>       |
| <i>Minimum Number of Parking Spaces</i> | 1 Parking Space per 250 SF<br>Total Required: 504 | X=673; <i>In Conformance</i>          |
| <i>Minimum Landscaping Percentage</i>   | 20.00%  | 14.00%; <i>Variance Requested</i>     |
| <i>Maximum Impervious Coverage</i>      | 85%-90%   | X=86%; <i>In Conformance</i>          |

**TREESCAPE PLAN**

The Treescape Plan provided by the applicant indicates that the development will result in the removal of 59 Eastern Red Cedar trees. According to Section 05, *Tree Mitigation Requirements*, of Article 09, *Tree Preservation*, of the Unified Development Code (UDC), "...Cedar Trees measuring eight (8) feet or greater in height shall be replaced with a single, four (4) inch caliper tree." In this case, the total mitigation balance is 236 caliper inches (i.e. *59 Eastern Red Cedars x four [4] inches = 236 caliper inches*). Based on the landscape plan provided by the applicant, 428-caliper inches are being planted on site, which satisfies the mitigation balance.

**CONFORMANCE WITH THE CITY'S CODES**

The applicant is requesting to construct *Grocery Store* (i.e. *HEB*) on the subject property. According to Subsection 02.02(F)(17), *General Retail Store*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a *General Retail Store* is defined as a "... facility or area for the retail sale of general merchandise or food to the public for direct consumption and not for wholesale. Typical general merchandise includes clothing and other apparel; equipment for hobbies or sports; gifts; flowers and household plants; dry goods; groceries, convenience, and specialty foods; toys; furniture; books and stationery; pets; drugs; hardware; and similar consumer goods."

According to 04.01 (E)(4), *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(w)here the property immediately abuts a residential zoning district or residentially used property -- *unless separated by an M4D (major collector, four [4] lane, divided roadway) or larger thoroughfare...*a minimum of a 50-foot wide landscaped buffer [*must be provided*] for buildings with a building footprint of 50,000 SF or greater.” In this case, the proposed building is 127,000 SF and has residential adjacency along the south property line. According to 05.02(B), *Landscape Screening*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), the residential adjacency buffer must include “... a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers ...” or “(a)s an alternative, the Planning and Zoning Commission may approve an alternative screening method that incorporates a wrought iron fence and three (3) tiered screening.” In addition, the buffer must include a “... berm and evergreen shrubs...” In this case, the applicant is proposing a hybrid of both screening methods by requesting to utilize the 50-foot landscape buffer with a six (6) foot wrought iron fence, a berm, and a row of evergreen shrubs. Staff should note, that there is an exception related to this component of the request, being that the 50-foot landscape buffer includes paving within it and a portion of the building encroaches into it. That being said, the Planning and Zoning Commission shall consider this as part of the applicant’s request.

The proposed site plan generally conforms to the requirements of the *General Commercial District Standards* and the *General Overlay District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variances and exceptions being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

### **VARIANCES AND EXCEPTIONS BY THE APPLICANT**

Staff has identified the following variances and exceptions:

- (1) *Parking Location*. According to Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(n)o more than one (1) full row of parking (*i.e. two rows of parking with a drive aisle*) shall be allowed between the primary building façade and the right-of-way of the Primary Roadway.” In this case, the applicant’s parking lot is located between the building and IH-30; however, the applicant has indicated to staff that this is typical and consistent with their corporate branding. This will require a *Variance* from the Planning and Zoning Commission.
- (2) *Parking Landscaping*. According to Subsection 05.03(E)(4), *Landscape Requirements*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), “(n)o required parking spaces may be located more than 80-feet from the trunk of a canopy tree.” In this case, the parking spaces closest to the building will not be within 80-feet of a canopy tree; however, the applicant has indicated that this is a typical operational function of their stores, and is to prevent birds from being close to the entryway of the grocery store. This will require an *Exception* from the Planning and Zoning Commission.
- (3) *Residential Adjacency*. According to Subsection 04.01(E), *General Commercial District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(w)here the property immediately abuts a residential zoning district or residentially used property -- *unless separated by an M4D (major collector, four [4] lane, divided roadway) or larger thoroughfare...*a minimum of a 50-foot wide landscaped buffer [*must be provided*] for buildings with a building footprint of 50,000 SF or greater.” In this case, a small portion of the proposed building and parking lot encroaches into the landscape buffer. This will require an *Exception* from the Planning and Zoning Commission.
- (4) *Landscape Percentage*. According to Subsection 05.03(A), *Landscape Requirements*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), within a Commercial (C) District 20.00% of the property is required to be landscaped. Based on the landscape plan provided by the applicant, the subject property will be 14.00% landscaped. This will require an *Exception* from the Planning and Zoning Commission.
- (5) *Four (4) Sided Architecture*. According to Article 05, *General Overlay District Development Standards*, of the Unified Development Code (UDC), “(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features.” In this case, the building elevations did not meet the articulation standards for all four (4) facades of the building; however, staff should point out that this is not atypical for buildings of this size. This will require a *Variance* from the Planning and Zoning Commission.

- (6) Building Materials. According to Subsection 05.01(A)(1), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(e)ach exterior wall of a building’s façade shall consist of a minimum of 90% Primary Materials...” or masonry material. The applicant is proposing 25% secondary materials on the north façade. The applicant has indicated that this is needed to accommodate the branding for the barbeque drive-through. This will require a Variance from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), an applicant may request the Planning and Zoning Commission grant an exception and/or variance to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship. In addition, the code requires that applicants provide compensatory measures that directly offset the requested exceptions and variances. In this case, as compensatory measures, the applicant is proposing: [1] five (5) inch canopy trees (*i.e. 4-inch caliper is the minimum*) along John King Boulevard, [2] enhanced landscaping elements at the corner of John King Boulevard, [3] a seat wall/trail rest stop at the corner of John King Boulevard and the IH-30 Frontage Road and [4] a ten (10) foot sidewalk along John King Boulevard in conformance with the John King Boulevard Corridor Plan contained in the OURHometown Vision 2040 Comprehensive Plan, [5] four (4) benches along John King Boulevard, [6] underground detention, [7] heavy landscape screening for the proposed truck docks, and [8] three (3) tiered landscaping along southern property line. Staff should note that compensatory measure #7 is required per the Unified Development Code (UDC), and compensatory measure #8 was not included on the landscape plan. That being said, the remaining compensatory measures appear to off-set the requested variances and exceptions, and that the applicant has included voluntary provisions from the John King Boulevard Corridor Plan which further justify the applicant’s request. With this being said, requests for exceptions and variances are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of an exception.

### **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the *Future Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the IH-30 Corridor District. All of the property located within the IH-30 Corridor District is designated for the Special Commercial (SC) Corridor land use. The OURHometown Vision 2040 Comprehensive Plan describes the Special Commercial (SC) Corridor as being reserved for *Regional Centers*, which are described as being one (1) of the following four (4) models: *Strip Retail Center, Mixed-Use Center, Town Center, or Regional Designation Center*. In this case, the proposed *Grocery Store* (*i.e. HEB*) is not being built in one (1) of the described models; however, the Special Commercial (SC) Corridor describes that the “. . .commercial/retail and regional commercial/retail...” development should “. . .support and serve the entire region.” Based on this, the applicant’s request appears to conform with the *Future Land Use Plan*. Staff should also note that the IH-30 Corridor District is divided into three (3) *Corridor Zones* (*i.e. the Preservation, Opportunity, and Transitional Zones*). In this case, the subject property is located within a *Transitional Zone*, which is defined as “(a) segment of the existing corridor that is currently underutilized due to incompatible land uses, building design, commercial densities, and/or land uses that do not maximize tax potential.” The subject property is currently vacant and is surrounded by multi-family developments and *Car Dealerships*. Based on this, the proposed future development would appear to maximize the subject property’s tax potential and conform to the *IH-30 Corridor Plan* contained in Appendix ‘B’, *Corridor Plans*, of the OURHometown Vision 2040 Comprehensive Plan.

According to the Goal 03, Policy 4, *Commercial/Retail*, within Chapter 06, *Economic Development*, of the OURHometown Vision 2040 Comprehensive Plan, adaptive reuse standards should be explored and incorporated into development guidelines to address the possibility of future vacancy. In this case, due to the size of the proposed building, the applicant was required to provide an adaptive reuse plan that demonstrates how the building could be utilized in the future. Given this, the applicant’s request appears to conform to this policy, which is laid out for *Economic Development* within the OURHometown Vision 2040 Comprehensive Plan.

### **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant’s request for a Site Plan for the purpose of constructing a *Grocery Store* (*i.e. HEB*) on the subject property, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) A photometric plan shall be provided to staff that meets the requirements outlined within the Unified Development Code (UDC) before Engineering Plan may be submit; and,
- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)<sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)<sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)<sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)<sup>1 & 2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)<sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)<sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: PARCEL ID 11460 & 10027

SUBDIVISION: SUBDIVISION CODE A0134 & A0002

LOT: \_\_\_\_\_

BLOCK: \_\_\_\_\_

GENERAL LOCATION: SOUTHWEST CORNER OF I-30 & JOHN KING BLVD

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: COMMERCIAL

CURRENT USE: VACANT

PROPOSED ZONING: COMMERCIAL

PROPOSED USE: GROCERY

ACREAGE: 12.519

LOTS [CURRENT]: 2

LOTS [PROPOSED]: 1

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER: HEB, LP

APPLICANT: BGE, INC.

CONTACT PERSON: BEN SCOTT

CONTACT PERSON: NICK HOBBS

ADDRESS: 646 SOUTH FLORES STREET

ADDRESS: 2595 DALLAS PKWY, SUITE 101

CITY, STATE & ZIP: SAN ANTONIO, TEXAS 78204

CITY, STATE & ZIP: FRISCO, TEXAS 75034

PHONE: 210-938-4075

PHONE: 469-644-1664

E-MAIL: \_\_\_\_\_

E-MAIL: NHOBBS@BGEINC.COM

### NOTARY VERIFICATION [REQUIRED]

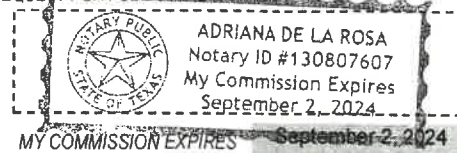
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Ben Scott [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 500.38 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF December, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 5th DAY OF December, 2023.

OWNER'S SIGNATURE: [Signature]

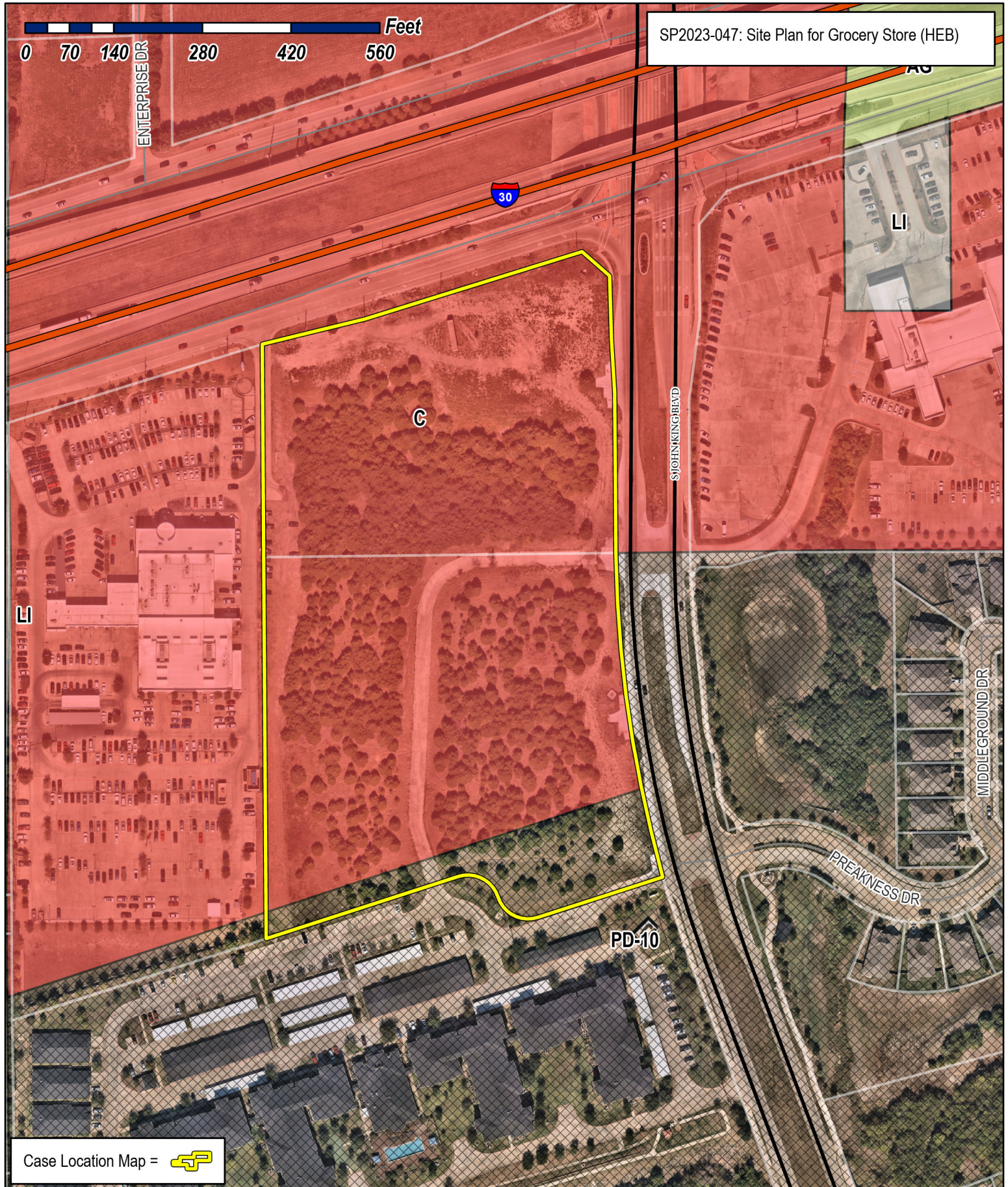
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: [Signature]






0 70 140 280 420 560 Feet

SP2023-047: Site Plan for Grocery Store (HEB)



Case Location Map = 

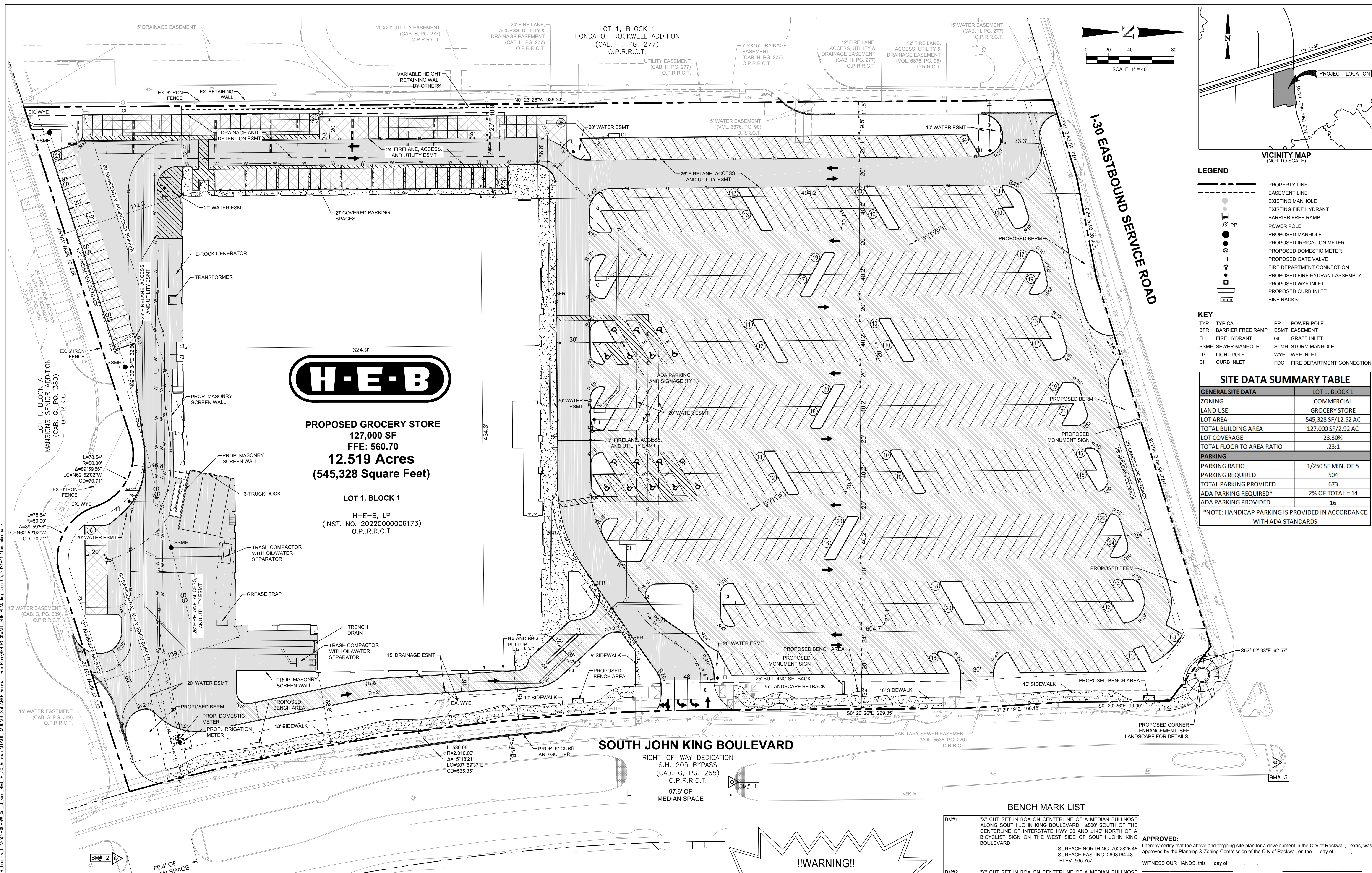


# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

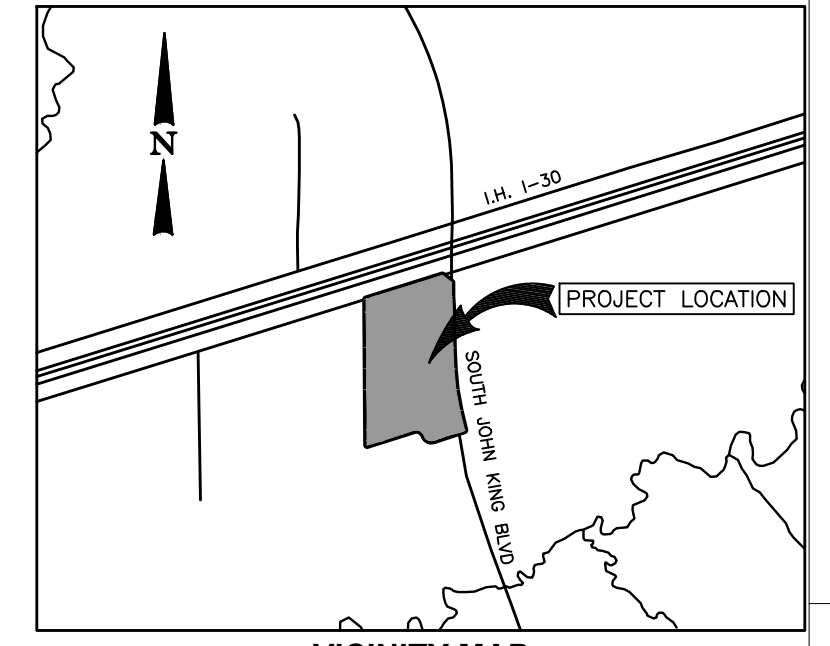
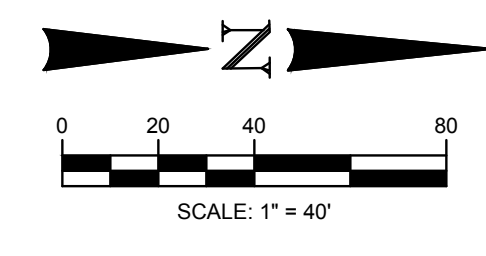




**PROPOSED GROCERY STORE**  
 127,000 SF  
 FFE: 560.70  
**12.519 Acres**  
 (545,328 Square Feet)

LOT 1, BLOCK 1

H-E-B, LP  
 (INST. NO. 2022000006173)  
 O.P.R.R.C.T.



**LEGEND**

- PROPERTY LINE
- - - EASEMENT LINE
- EXISTING MANHOLE
- EXISTING FIRE HYDRANT
- ▭ BARRIER FREE RAMP
- POWER POLE
- PROPOSED MANHOLE
- PROPOSED IRRIGATION METER
- PROPOSED DOMESTIC METER
- PROPOSED GATE VALVE
- FIRE DEPARTMENT CONNECTION
- PROPOSED FIRE HYDRANT ASSEMBLY
- PROPOSED WYE INLET
- PROPOSED CURB INLET
- BIKE RACKS

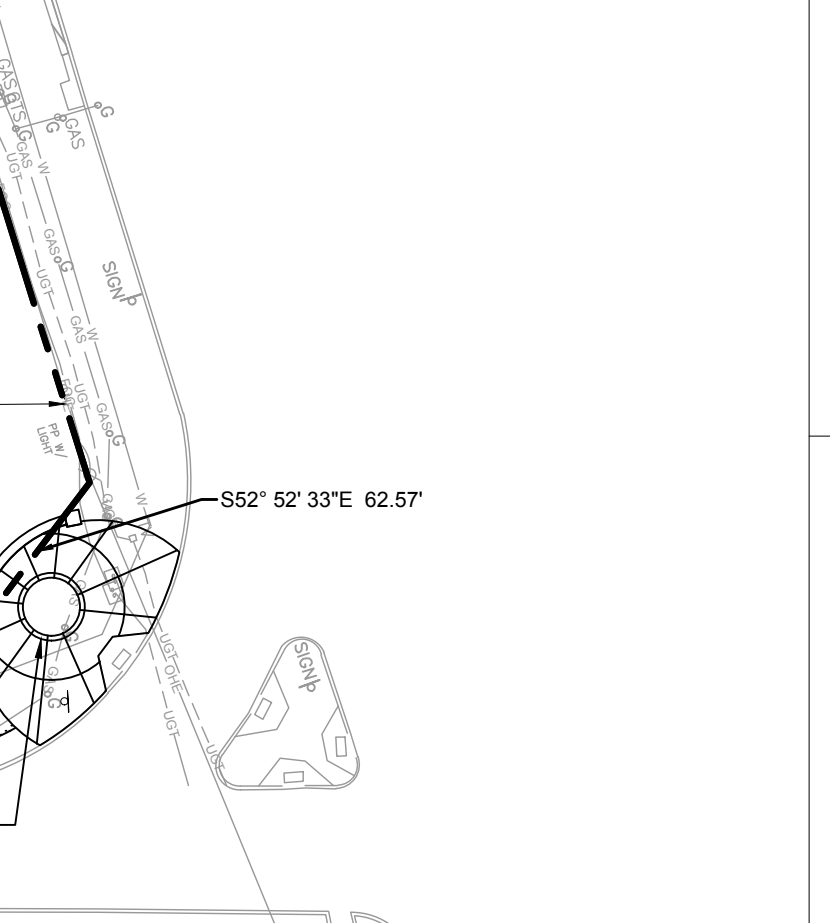
**KEY**

- TYP TYPICAL
- BFR BARRIER FREE RAMP
- FH FIRE HYDRANT
- SSMH SEWER MANHOLE
- LP LIGHT POLE
- CI CURB INLET
- PP POWER POLE
- ESMT EASEMENT
- GI GRATE INLET
- STMH STORM MANHOLE
- WYE WYE INLET
- FDC FIRE DEPARTMENT CONNECTION

**SITE DATA SUMMARY TABLE**

| GENERAL SITE DATA         |  | LOT 1, BLOCK 1        |
|---------------------------|--|-----------------------|
| ZONING                    |  | COMMERCIAL            |
| LAND USE                  |  | GROCERY STORE         |
| LOT AREA                  |  | 545,328 SF / 12.52 AC |
| TOTAL BUILDING AREA       |  | 127,000 SF / 2.92 AC  |
| LOT COVERAGE              |  | 23.30%                |
| TOTAL FLOOR TO AREA RATIO |  | .23:1                 |
| PARKING                   |  |                       |
| PARKING RATIO             |  | 1/250 SF MIN. OF 5    |
| PARKING REQUIRED          |  | 504                   |
| TOTAL PARKING PROVIDED    |  | 673                   |
| ADA PARKING REQUIRED*     |  | 2% OF TOTAL = 14      |
| ADA PARKING PROVIDED      |  | 16                    |

\*NOTE: HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS



**APPROVED:**  
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_\_ day of \_\_\_\_\_, 2023.

WITNESS OUR HANDS, this day of \_\_\_\_\_, 2023.

\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning and Zoning

**SITE PLAN**  
 (CASE NO. SP2023-047)  
**HEB ROCKWALL, LOT 1, BLOCK 1**  
 12.519 ACRES OR 545,328 SQ. FT.  
**JAMES M. ALLEN SURVEY, ABSTRACT NO. 2**  
**ROCKWALL, ROCKWALL COUNTY, TEXAS**

OWNER/DEVELOPER: HEB, LP  
 646 S. FLORES ST., SAN ANTONIO, TEXAS 78204  
 TEL: (210) 938-4076  
 CONTACT: LANCE KLEIN

ENGINEER: BGE, INC.  
 2595 DALLAS PKWY., SUITE 101, FRISCO, TEXAS 78204  
 TEL: (972) 464-4865  
 CONTACT: NICK HOBBS

DATE PREPARED: 01/03/2024

**BGE, Inc.**  
 2595 Dallas Parkway, Suite 101  
 Frisco, TX 78204  
 Tel: 972-464-4800 • www.bgeinc.com  
 TBPE Registration No. F-1046  
 Copyright 2023

**OWNER/DEVELOPER**  
**H-E-B**  
 646 S. FLORES ST.  
 SAN ANTONIO, TX 78204  
 TEL: (210) 938-4076  
 CONTACT: LANCE KLEIN

**ENGINEER**  
**BGE, INC.**  
 2595 DALLAS PKWY., SUITE 101  
 FRISCO, TX 75034  
 CONTACT: NICK HOBBS  
 PHONE: (972) 464-4865

**SITE PLAN**  
**HEB ROCKWALL**  
 LOT 1, BLOCK 1  
 CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

THESE PLANS ARE ISSUED FOR THE PURPOSE OF PRELIMINARY REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION. WHEN ISSUED IN FINAL FORM THEY WILL BE SEALED, SIGNED AND DATED.

RESPONSIBLE ENGINEER:  
 BGE, INC.  
 TEXAS REGISTERED ENGINEERING FIRM F-1046  
 NICHOLAS D. HOBBS, P.E.  
 TEXAS REGISTRATION NO. 112949  
 JANUARY 03, 2024

**CAUTION !!**  
 Contractor to Verify exact location & Depth of Existing Facilities Prior to any Construction Activities

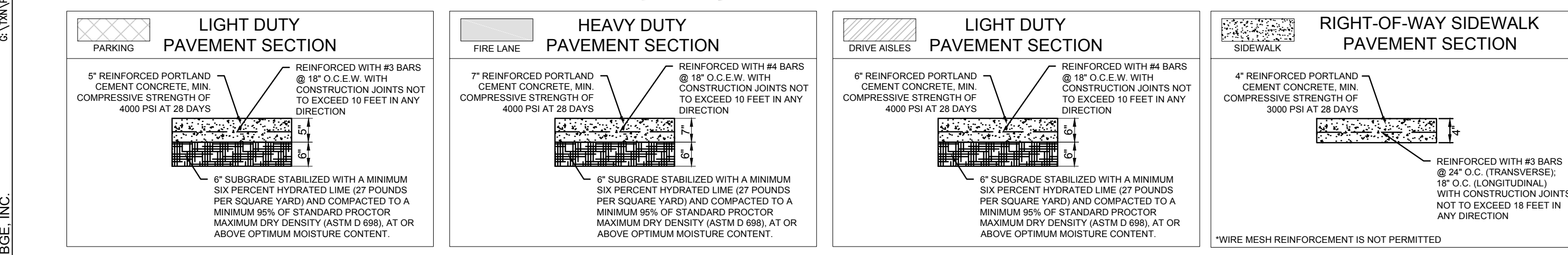
**CAUTION !!!**  
 CONTACT: 1-800-DIG-TESS  
 48 HOURS PRIOR TO CONSTRUCTION

**REVISIONS**

| REV. NO. | DATE | DESCRIPTION |
|----------|------|-------------|
|          |      |             |
|          |      |             |
|          |      |             |

CHECKED BY: NDH  
 DESIGNED BY: EJB  
 DATE: DECEMBER 2023  
 PROJECT NUMBER: 9559-01

**SHEET NO**  
 SP-1



**!!WARNING!!**  
 EXISTING UNDERGROUND UTILITIES. CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITIES AND COORDINATE WITH CORRESPONDING COMPANY PRIOR TO CONSTRUCTION.

**BEFORE YOU DIG, CALL DIG TESS**  
 1-800-DIG-TESS

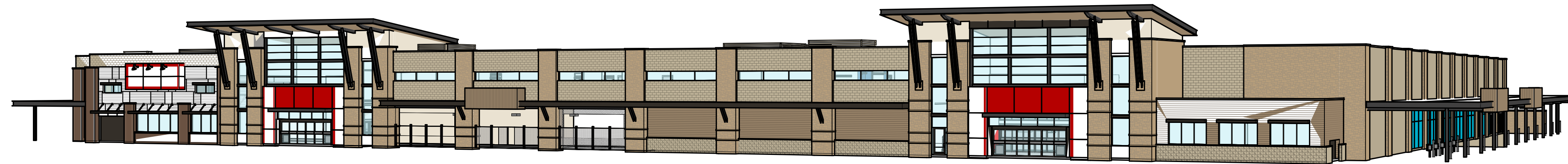
**BENCH MARK LIST**

| BM#   | DESCRIPTION  | SURFACE NORTHING | SURFACE EASTING | ELEVATION |
|-------|--|------------------|-----------------|-----------|
| BM#1  | "X" CUT SET IN BOX ON CENTERLINE OF A MEDIAN BULLNOSE ALONG SOUTH JOHN KING BOULEVARD. +500' SOUTH OF THE CENTERLINE OF INTERSTATE HWY 30 AND +140' NORTH OF A BICYCLIST SIGN ON THE WEST SIDE OF SOUTH JOHN KING BOULEVARD.           | 7022825.45       | 2603164.43      | 565.757   |
| BM#2  | "X" CUT SET IN BOX ON CENTERLINE OF A MEDIAN BULLNOSE ALONG SOUTH JOHN KING BOULEVARD. +1100' SOUTH OF THE CENTERLINE OF INTERSTATE HWY 30 AND +60' EAST OF THE NORTH ENTRANCE TO THE MANSION SENIOR LIVING CENTER.                    | 7022826.76       | 2603324.30      | 552.35    |
| BM#3  | "X" CUT SET IN BOX ON CENTERLINE OF A MEDIAN BULLNOSE ALONG SOUTH JOHN KING BOULEVARD. +40' EAST OF THE CENTERLINE OF INTERSTATE HWY 30 AND +140' NORTH OF A TRAFFIC SIGNAL POLE FOR THE SOUTHBOUND LANE OF SOUTH JOHN KING BOULEVARD. | 7023321.53       | 2603146.63      | 574.32    |
| MON#9 | "BRASS DISC" STAMPED CITY OF ROCKWALL SURVEY MONUMENT ON THE SOUTH SIDE OF DISCOVERY BLVD. AT THE SOUTHEAST CORNER OF A CURB INLET. +180' EAST INTERSECTION OF DISCOVERY CORPORATE.  | 7023321.53       | 2603146.63      | 574.32    |

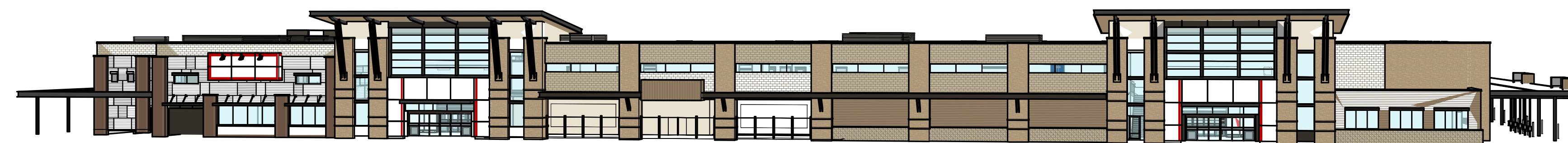




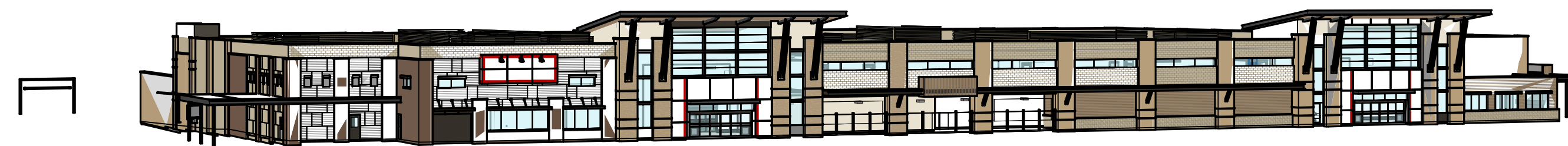
5 PERSPECTIVE VIEW - POINT D



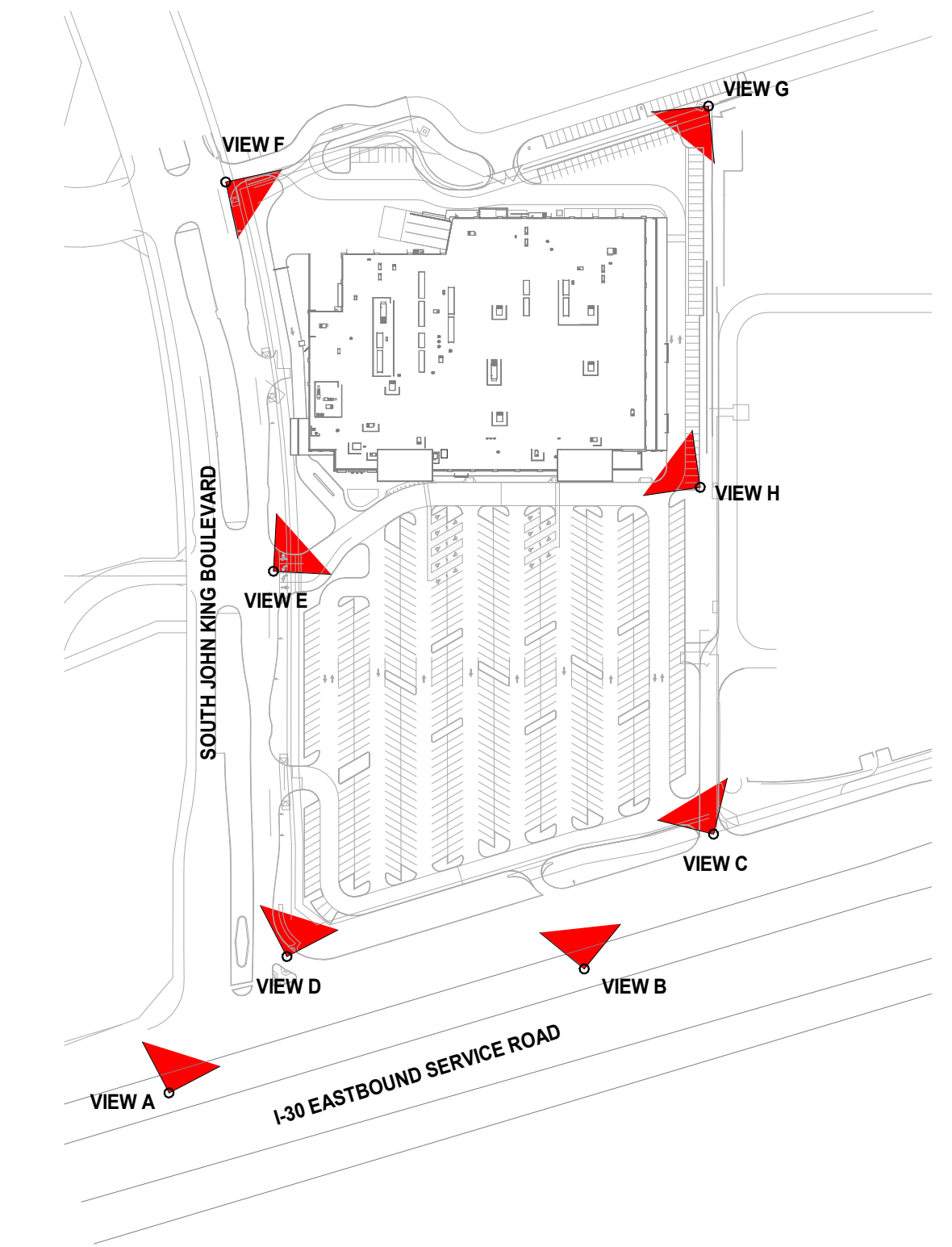
4 PERSPECTIVE VIEW - POINT C



3 PERSPECTIVE VIEW - POINT B



2 PERSPECTIVE VIEW - POINT A



| VIEW | STORE LEVEL | GRADE LEVEL | EYE LEVEL |
|------|-------------|-------------|-----------|
| A    | 560.30'     | 573'        | 560.30'   |
| B    | 560.30'     | 284'        | 560.30'   |
| C    | 560.30'     | 573'        | 560.30'   |
| D    | 560.30'     | 573'        | 560.30'   |
| E    | 560.30'     | 594'        | 560.30'   |
| F    | 560.30'     | 552'        | 560.30'   |
| G    | 560.30'     | 555'        | 560.30'   |
| H    | 560.30'     | 561'        | 560.30'   |

1 ARCHITECTURAL SITE PLAN  
1" = 200'-0"

PROJECT #  
H.E.B. ROCKWALL - STORE  
12.519 ACRES  
LOT 1 | BLOCK 1  
AN ADDITION TO THE CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS  
DECEMBER, 2023

GROCERY COMPANY LP OWNER  
646 S. FLORES ST. (210) 938-4076  
SAN ANTONIO, TEXAS 78204  
CONTACT: LANCE KLEIN

BGE, INC ENGINEER  
2595 DALLAS PKWY, SUITE 101 (972) 464-4865  
FRISCO, TEXAS 75034  
CONTACT: NICK HOBBS

- CITY OF ROCKWALL GENERAL NOTES**
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  6. ANY DEVIATION FROM THE APPROVED FACADE PLAN WILL REQUIRE RE-APPROVAL BY THE TOWN OF PROSPER.

**CITY APPROVAL**

APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 2024.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

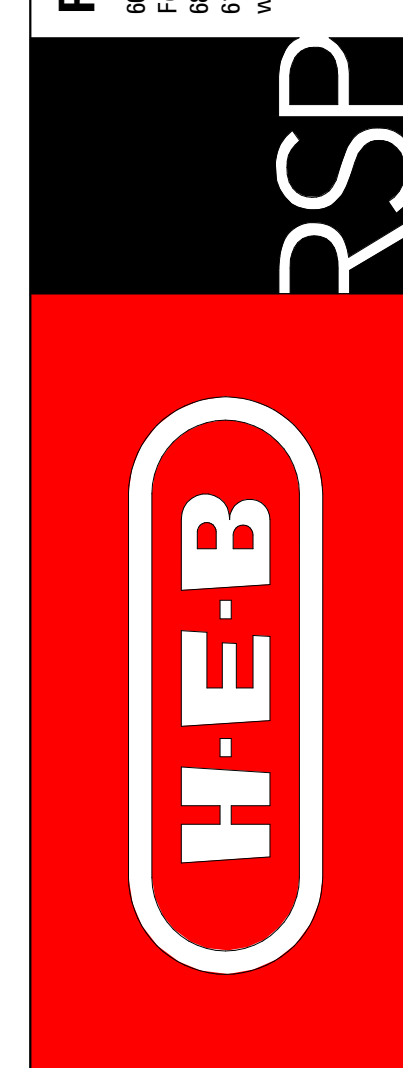
\_\_\_\_\_  
Director of Planning and Zoning

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| Date | Description | Revision |
|------|-------------|----------|
|      |             |          |
|      |             |          |
|      |             |          |
|      |             |          |

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ARCHITECT:  
RSP ARCHITECTS, LTD.

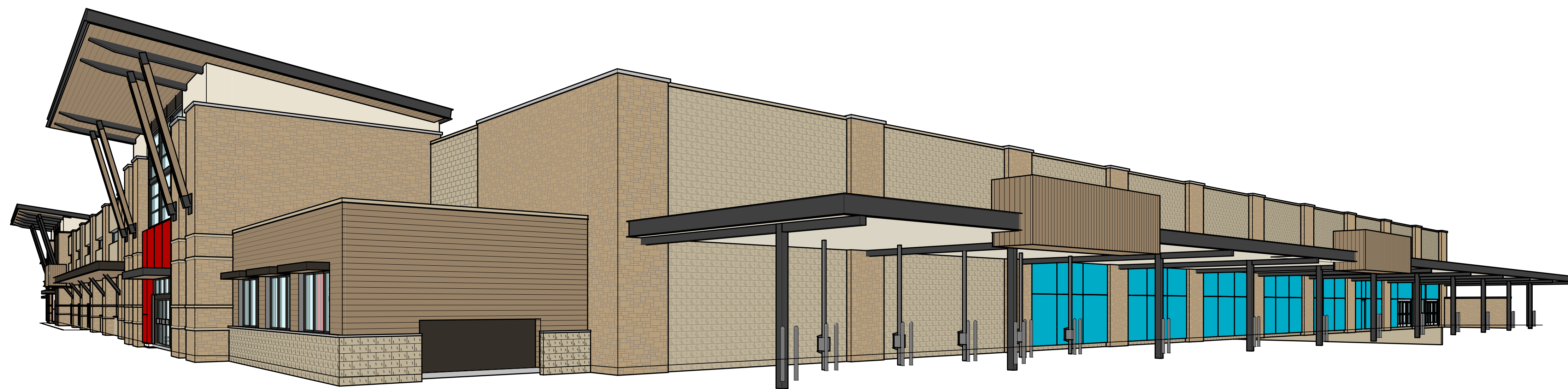
RSP Architects, Ltd.  
600 W. 4th Street, Suite 100  
Fort Worth, TX 76102  
817.200.5340 main  
817.277.8658 fax  
www.rsparchitect.com



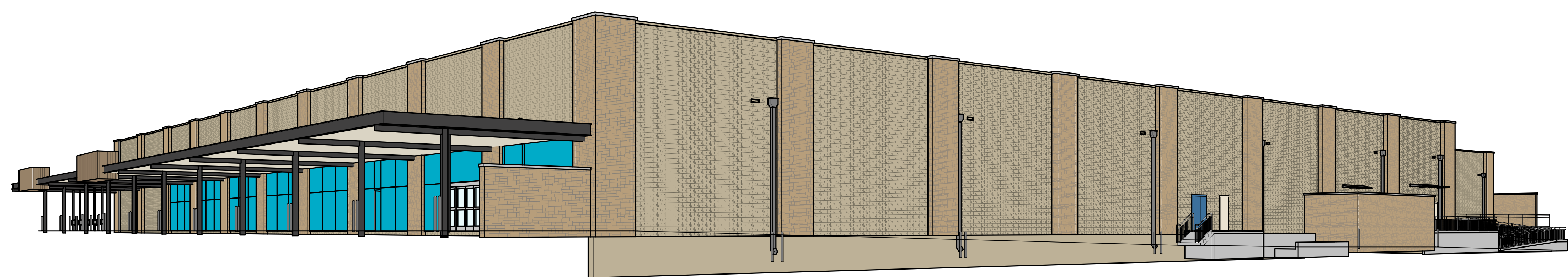
SITE LINE STUDY

H-E-B ROCKWALL | CORP # 810  
XXX-XXX-XXX | Rockwall, Texas  
XXXXXX

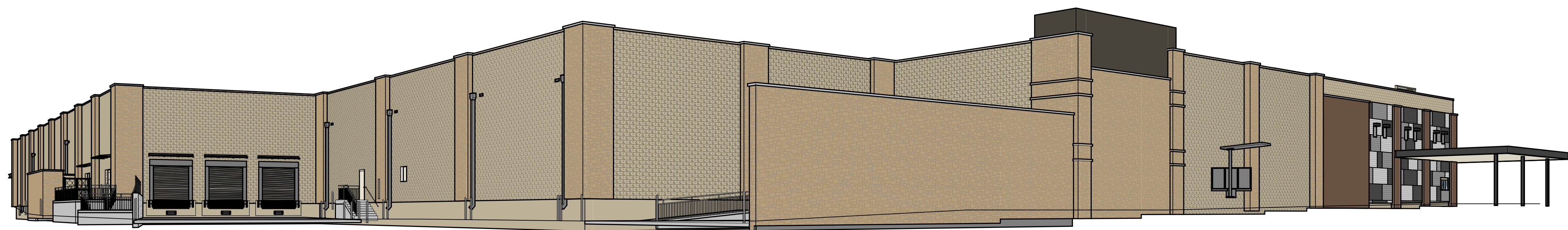
SCALE: AS INDICATED  
CONSUL. NO.: 3463.85.01  
DATE: 01.03.2024  
SHEET NO. 02



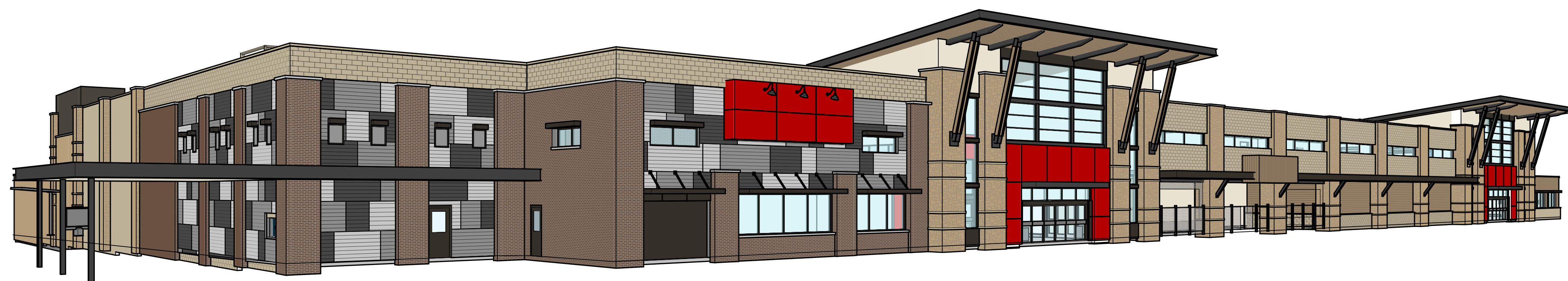
5 PERSPECTIVE VIEW - POINT H



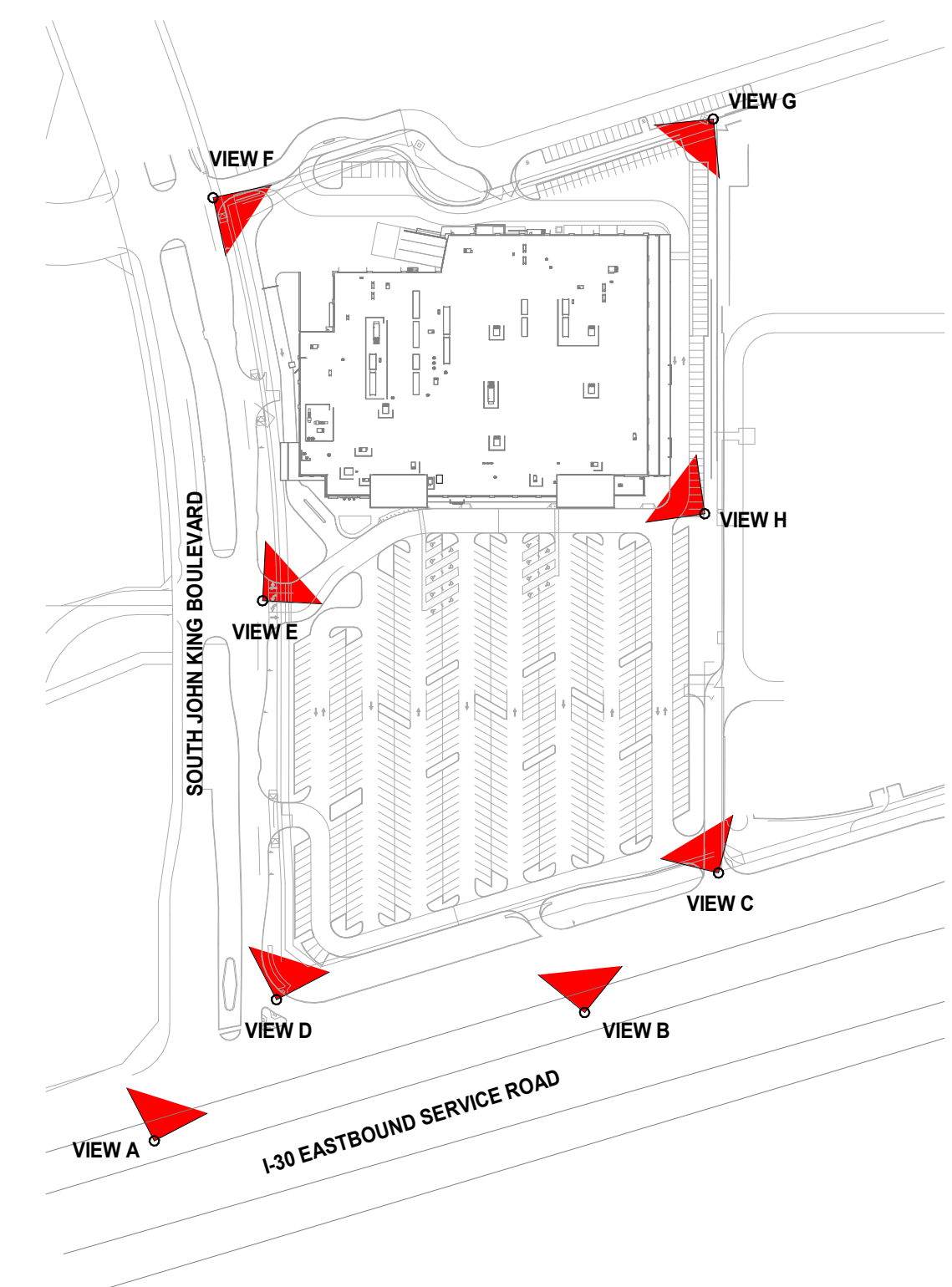
4 PERSPECTIVE VIEW - POINT G



3 PERSPECTIVE VIEW - POINT F



2 PERSPECTIVE VIEW - POINT E



| VIEW | STORE LEVEL | GRADE LEVEL | EYE LEVEL |
|------|-------------|-------------|-----------|
| A    | 560.30'     | 573'        | 560.30'   |
| B    | 560.30'     | 284'        | 560.30'   |
| C    | 560.30'     | 573'        | 560.30'   |
| D    | 560.30'     | 573'        | 560.30'   |
| E    | 560.30'     | 594'        | 560.30'   |
| F    | 560.30'     | 552'        | 560.30'   |
| G    | 560.30'     | 555'        | 560.30'   |
| H    | 560.30'     | 561'        | 560.30'   |

1 ARCHITECTURAL SITE PLAN  
1" = 200'-0"

PROJECT #  
H.E.B. ROCKWALL - STORE  
12.519 ACRES  
LOT 1 | BLOCK 1  
AN ADDITION TO THE CITY OF ROCKWALL  
ROCKWALL COUNTY, TEXAS  
DECEMBER, 2023

GROCERY COMPANY LP OWNER  
646 S. FLORES ST. (210) 938-4076  
SAN ANTONIO, TEXAS 78204  
CONTACT: LANCE KLEIN

BGE, INC ENGINEER  
2595 DALLAS PKWY, SUITE 101 (972) 464-4865  
FRISCO, TEXAS 75034  
CONTACT: NICK HOBBS

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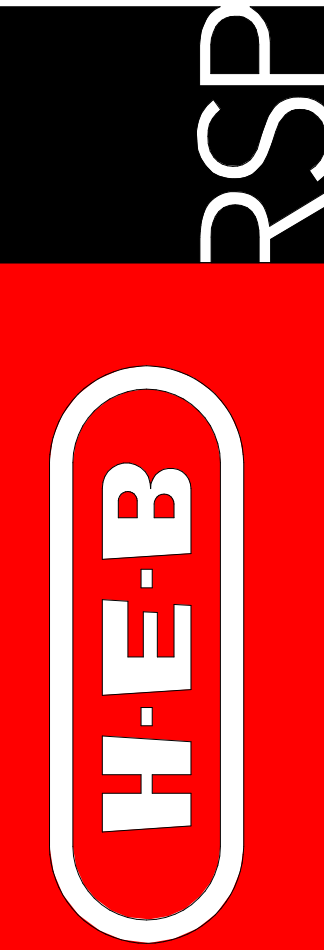
**CITY APPROVAL**  
APPROVED:  
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 2024.  
WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2024.  
Planning & Zoning Commission, Chairman Director of Planning and Zoning

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| Revision | Description | Date |
|----------|-------------|------|
|          |             |      |
|          |             |      |
|          |             |      |
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ARCHITECT:  
RSP ARCHITECTS, LTD.

RSP Architects, Ltd.  
690 W. 4th Street, Suite 100  
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SITE LINE STUDY

H-E-B ROCKWALL | CORP # 810  
XXX-XXX-XXX | Rockwall, Texas  
XXXXXX

SCALE: AS INDICATED  
CONSULT:  
PROJ. NO.: 3443.05.01  
DATE: 01.03.2024  
SHEET NO. 03



**BR-1 | FACE BRICK**



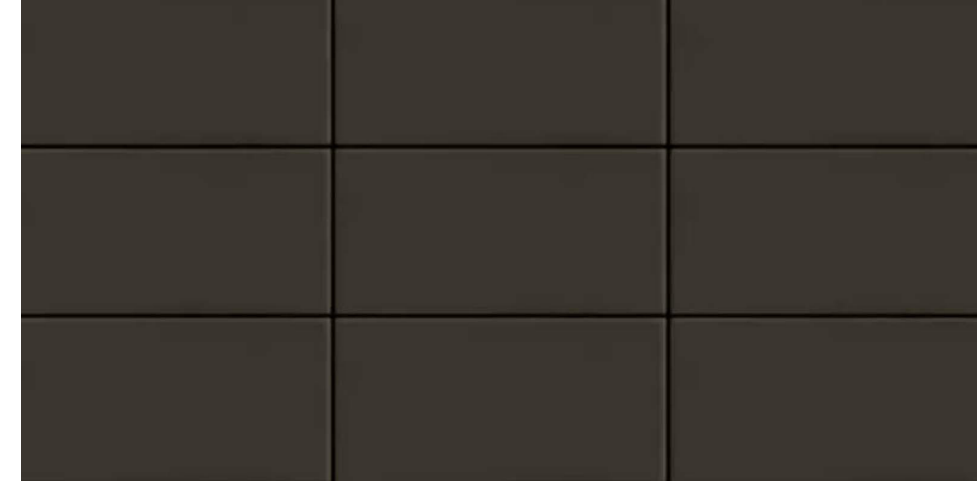
**CMU-1 | GROUND FACE**



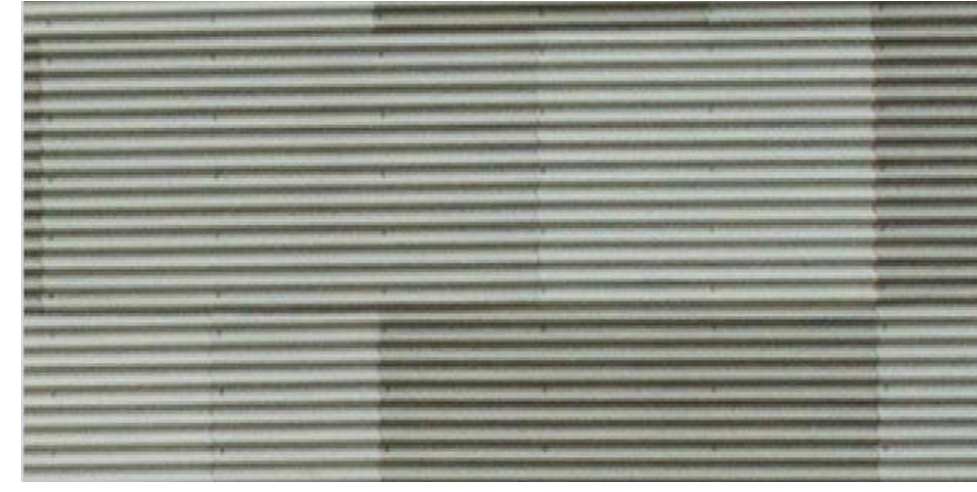
**CMU-2 | SPLIT FACE**



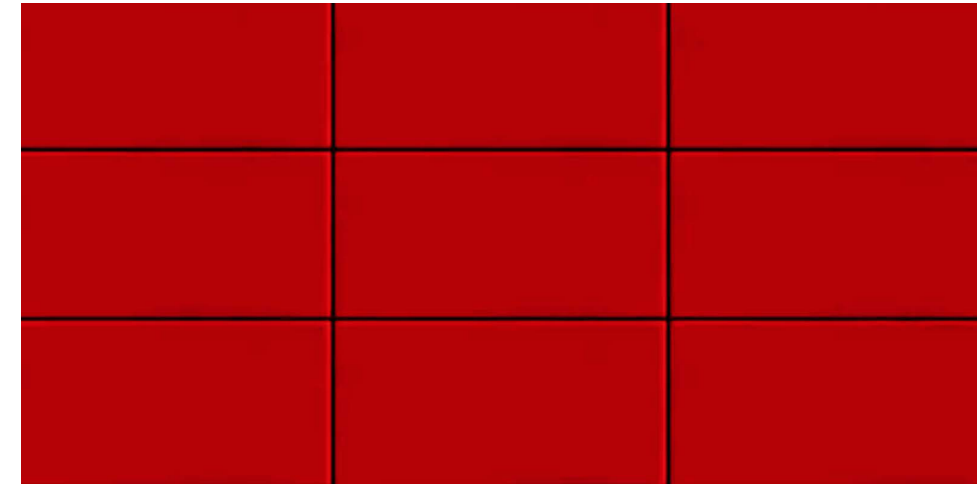
**STN-1 | STONE VENEER**



**MP-1 | ACM PANELS**



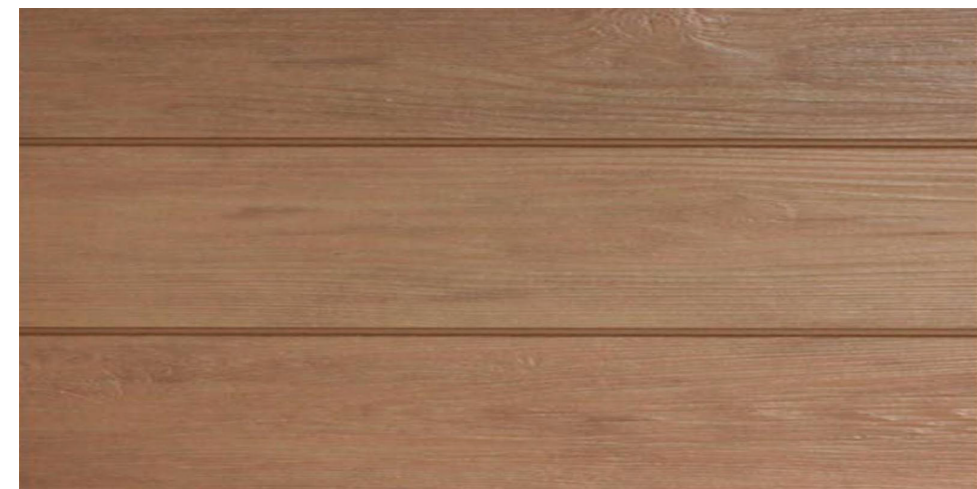
**MP-2 | CORRUGATED PANELS**



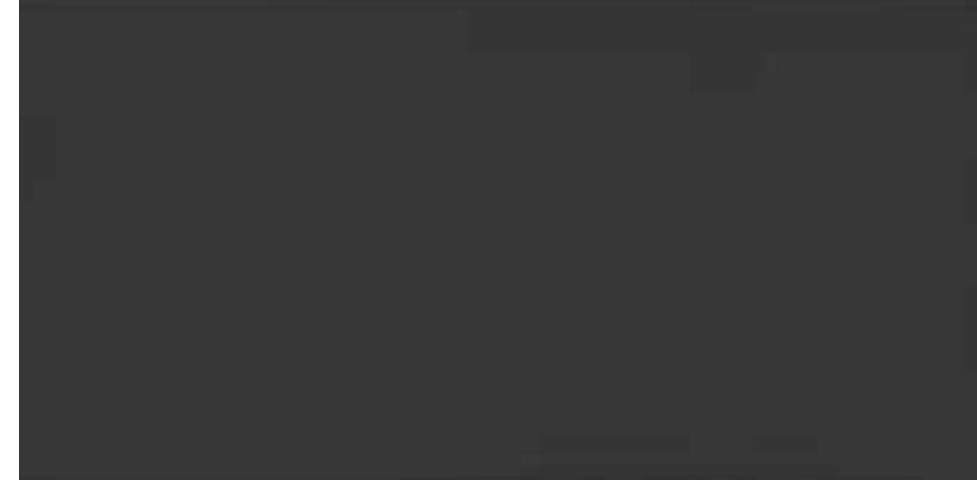
**MP-3 | BRITE RED**



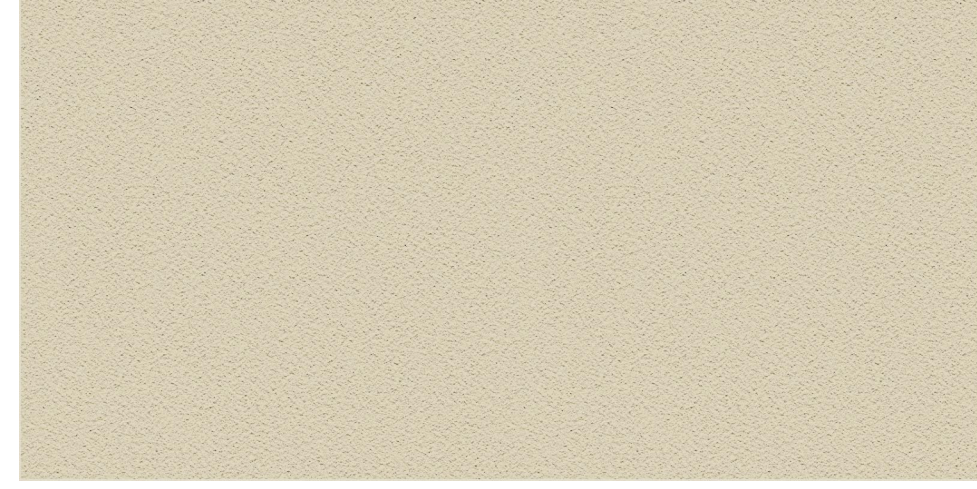
**MP-4 | TRESPA PANEL**



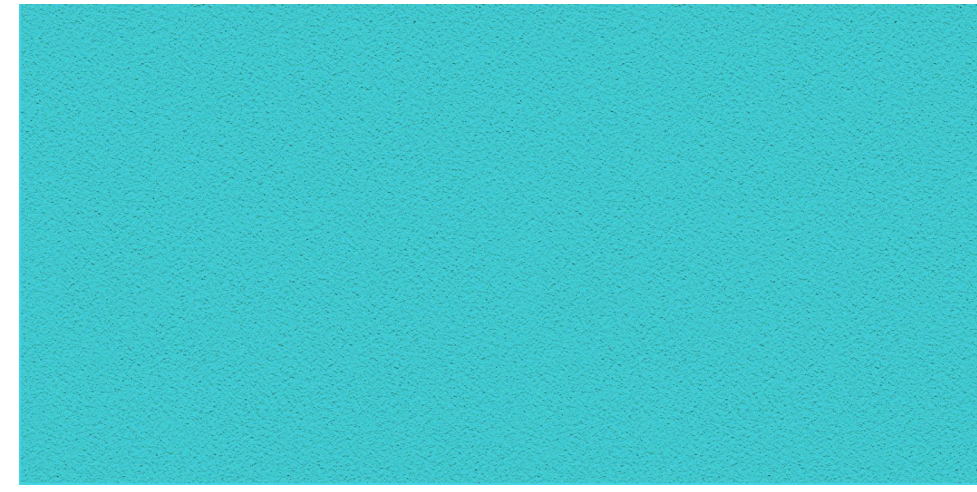
**FC-1 | FIBER CEMENT BOARDS**



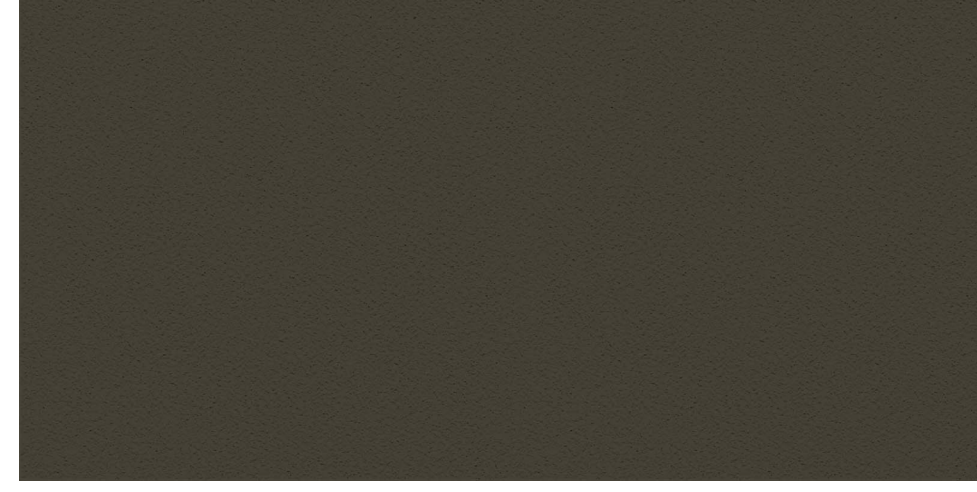
**STL-1 | EXPOSED STEEL**



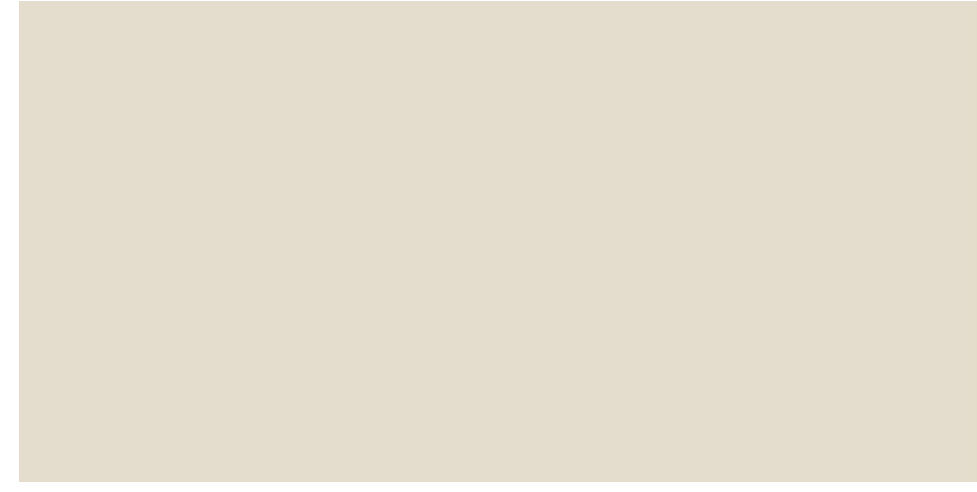
**STC-1 | PAINTED PT-1**



**STC-2 | PAINTED PT-2**



**STC-3 | PAINTED PT-3**



**PT-1 | BRANDIED PEARS**



**PT-2 | CURBSIDE BLUE**



**PT-3 | BROWN**



**PT-4 | DARK BRONZE**



**SF-1 / SF-2 | STOREFRONT**



**SCR-N1 | SCREENS**



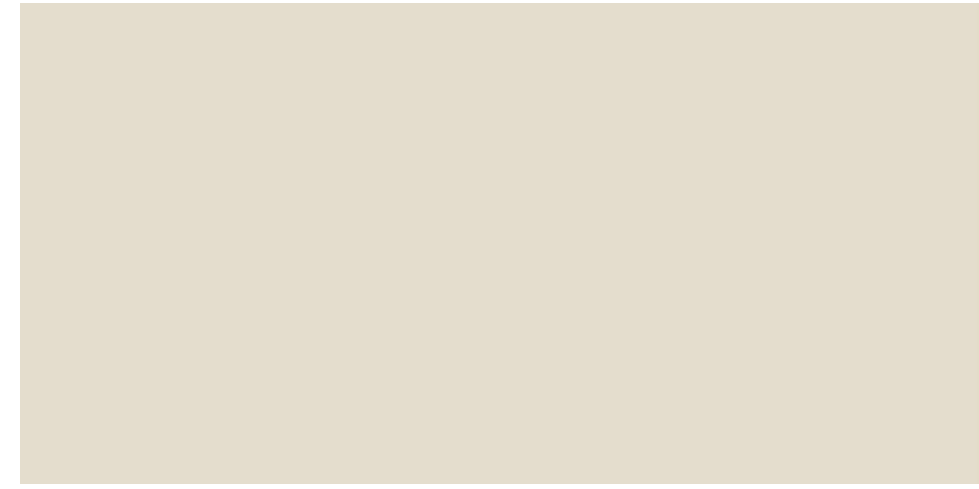
**PC-1 | PRE-CAST STONE CAP**



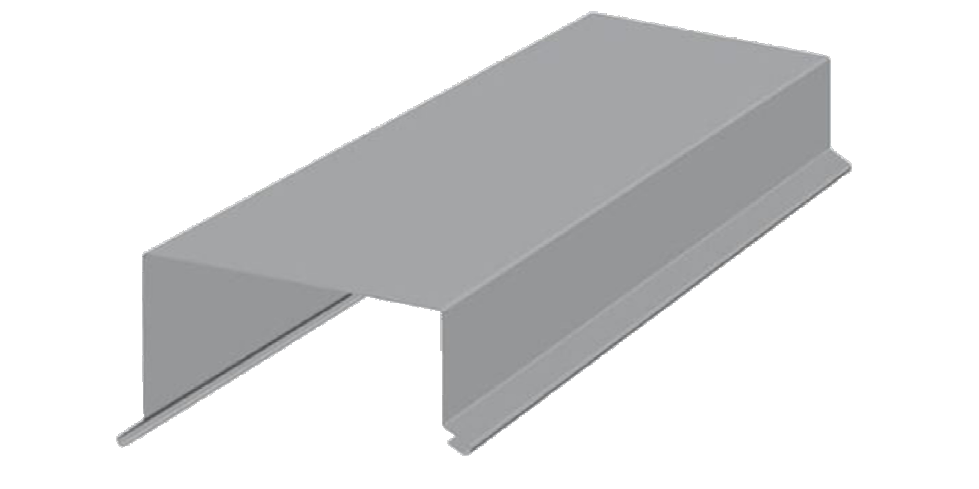
**PC-2 | PRE-CAST STONE LEDGE**



**CONC-1 | CONCRETE**



**TPO | ROOF**



**MC | METAL COPING**

| EXTERIOR FINISH LEGEND |  |   |
|------------------------|--|---|
| CODE                   | MATERIAL   | BASIS OF DESIGN / FINISH  |
| <b>MASONRY</b>         |  |   |
| BR-1                   | FACE BRICK VENEER                                    | ACME BRICK   MISSION TRACE BRICK  |
| CMU-1                  | CONCRETE MASONRY UNIT                                | GROUND FACE PAINTED PT-1  |
| CMU-2                  | CONCRETE MASONRY UNIT                                | SPLIT FACE PAINTED PT-1   |
| STN-1                  | STONE VENEER   | CUT LIMESTONE CHOP FACE FINISH - RANDOM ASHLAR PATTERN   MIXED COLOR  |
| <b>METAL</b>           |  |   |
| MP-1                   | ALUMINUM COMPOSITE METAL PANEL                       | PAC-3000 RS COMPOSITE WALL PANELS   DARK BRONZE   |
| MP-2                   | CORRUGATED METAL "S" PANELS                          | PAC-CLAD FLUSH WALL PANEL   TORNAO - PPG 1009-2 SOLITARY STATE - PPG 1009-3 GREY STONE - PPG 1009-4   |
| MP-3                   | ALUMINUM COMPOSITE METAL PANEL                       | REINFORCED COMPOSITE WALL PANELS   BRITE RED  |
| MP-4                   | PRE-FINISHED TRESPA METEON PANEL                     | 3/8" THICK DECORATIVE HIGH-PRESSURE TRESPA METEON PANEL   FRENCH WALNUT   |
| SOF-1                  | PRE-FINISHED TRESPA METEON PANEL                     | 3/8" THICK DECORATIVE HIGH-PRESSURE TRESPA METEON PANEL   FRENCH WALNUT   |
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| STL-1                  | PAINTED EXPOSED STRUCTURAL STEEL                     | BLACK MAGIC - PPG 1001-7  |
| <b>STUCCO</b>          |  |   |
| STC-1                  | 3 PART CEMENTITIOUS STUCCO VENEER                    | 8inPOWERWALL CI w/ CRACK DEFENSE SYSTEM   PT-1  |
| STC-2                  | 3 PART CEMENTITIOUS STUCCO VENEER                    | 8inPOWERWALL CI w/ CRACK DEFENSE SYSTEM   PT-2  |
| STC-3                  | 3 PART CEMENTITIOUS STUCCO VENEER                    | 8inPOWERWALL CI w/ CRACK DEFENSE SYSTEM   PT-3  |
| <b>PAINT</b>           |  |   |
| PT-1                   | PAINT  | LIGHT BEIGE PPG1086-2   BRANDIED PEARS  |
| PT-2                   | PAINT  | CUSTOM BY BEHR   CURBSIDE BLUE<br>CUSTOM BY BEHR FORMULA SL-1 OZ. 306   EL-1 OZ. 306   KXL-6 OZ. 0  |
| PT-3                   | PAINT  | BROWN   PPG COLOR TID   |
| PT-4                   | PAINT  | DARK BRONZE   |
| <b>MISC</b>            |  |   |
| SF-1                   | ALUMINUM STOREFRONT SYSTEM                           | GUARDIAN SUNGLARD - 8X1103 - OUTWARD & INBOARD CLEAR - KAWNEER TRIPAB 4011   DARK BRONZE  |
| SF-2                   | ALUMINUM STOREFRONT SYSTEM                           | ALUMINUM INFILL PANEL - PRE-FINISHED BY STOREFRONT MANUFACTURER   DARK BRONZE   |
| SCR-N1                 | EXTRUDED ALUMINUM HORIZONTAL BLADE EQUIPMENT SCREENS | INDUSTRIAL LOUVERS - MODEL 450XP1   COLOR TO MATCH PT-1   |
| PC-1                   | PRE-CAST STONE CAPS                                  | ADVANCED ARCHITECTURAL   DOVE GRAY  |
| PC-2                   | PRE-CAST STONE CAPS                                  | ADVANCED ARCHITECTURAL   MATCH PT-1   |
| CONC-1                 | EXPOSED CONCRETE STRUCTURE                           | PAINT PT-1 AS NOTED   |
| TPO-1                  | ROOF   | 60 MIL SINGLE PLY THERMOPLASTIC ROOFING MEMBRANE   MATCH PT-1   |
| MC                     | METAL COPING   | PRE-FINISHED 609 ALUMINUM TAPERED PARAPET CAP W/ CONTINUOUS GLEAT   1/4" OUTSIDE FACE W/ 4" INSIDE FACE METAL 60A PERMANENT COPING TO MATCH ADJACENT WALL COLOR |

| Revision | Description | Date |
|----------|-------------|------|
|          |             |      |
|          |             |      |

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**RSP Architects, Ltd.**  
 6901 W. 4th Street, Suite 100  
 Fort Worth, TX 76102  
 817.200.5940 main  
 817.277.8858 fax  
 www.rsparch.com

**H-E-B**

MATERIAL BOARD

H-E-B ROCKWALL | CORP # 810  
 XXX-XXX-XXX | Rockwall, Texas  
 XXXXX

SCALE: AS INDICATED  
 CONSEL. NO. 3443.81.00  
 DATE: 01.03.2024  
 SHEET NO. 04

**PROJECT #**  
 H.E.B. ROCKWALL - STORE  
 12.519 ACRES  
 LOT 1 | BLOCK 1  
 AN ADDITION TO THE CITY OF ROCKWALL  
 ROCKWALL COUNTY, TEXAS  
 DECEMBER, 2023

**GROCERY COMPANY LP** OWNER  
 646 S. FLORES ST. (210) 938-4076  
 SAN ANTONIO, TEXAS 78204  
 CONTACT: LANCE KLEIN

**BGE, INC** ENGINEER  
 2595 DALLAS PKWY, SUITE 101 (972) 464-4865  
 FRISCO, TEXAS 75034  
 CONTACT: NICK HOBBS

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\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

\_\_\_\_\_  
 Director of Planning and Zoning



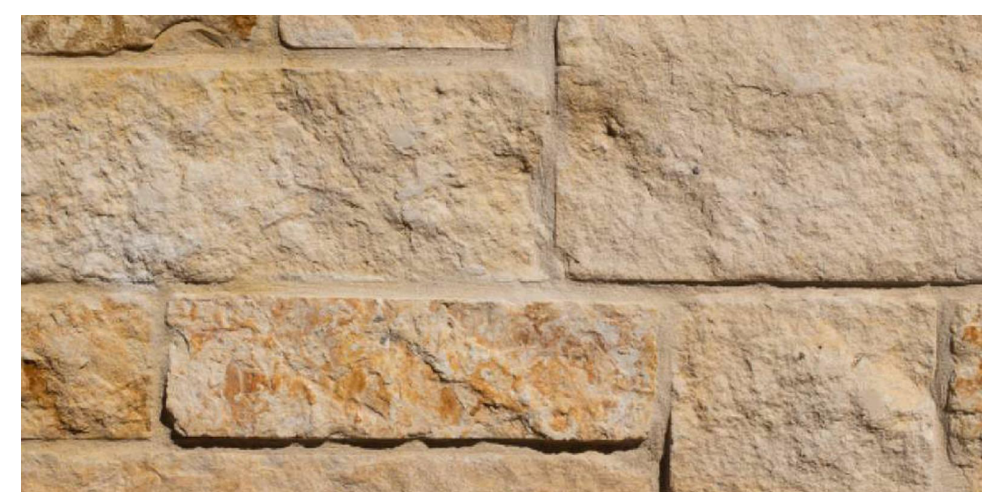
**BR-1 | FACE BRICK**



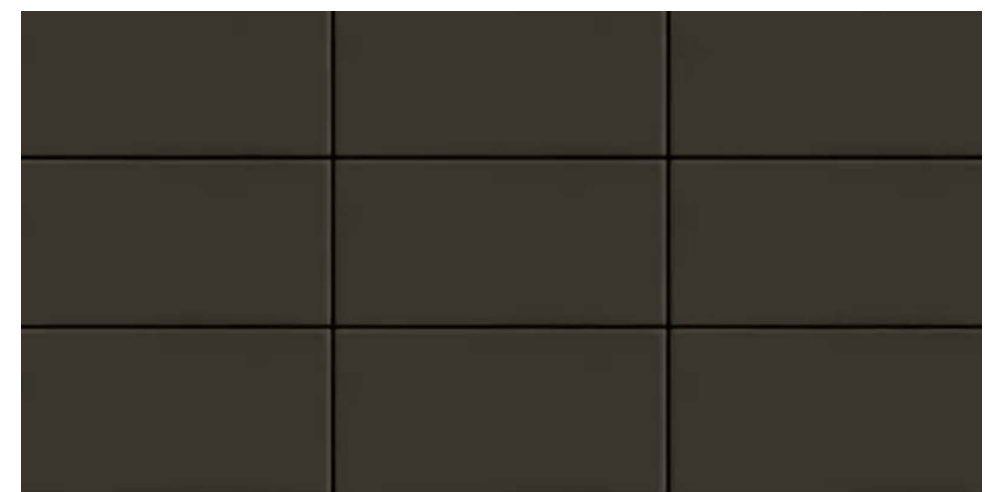
**CMU-1 | GROUND FACE**



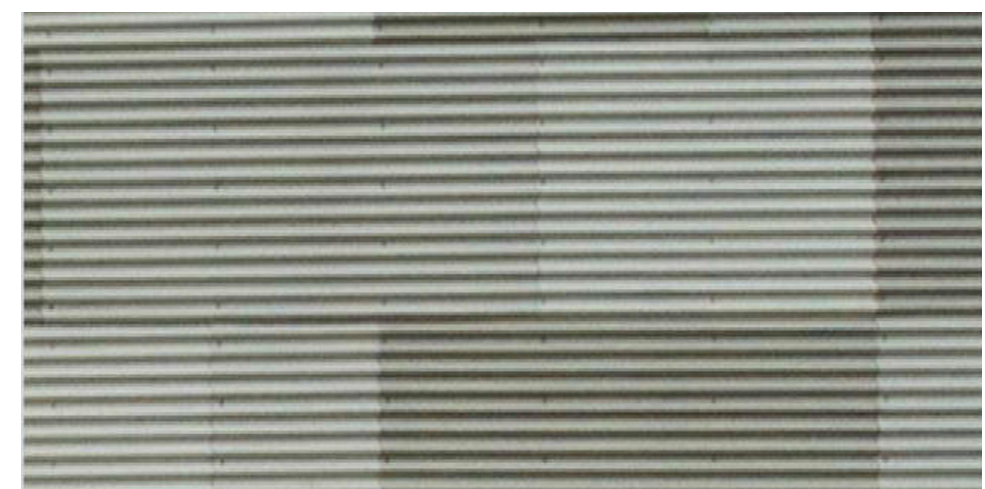
**CMU-2 | SPLIT FACE**



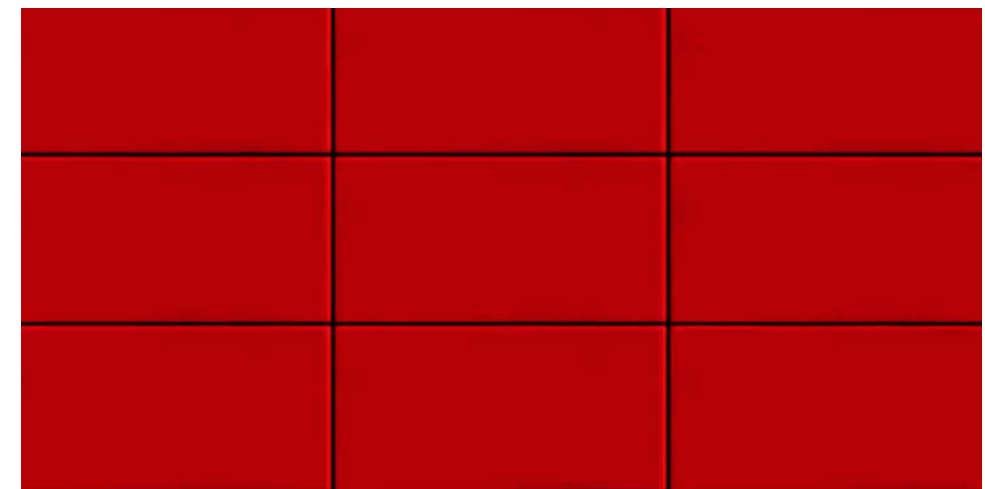
**STN-1 | STONE VENEER**



**MP-1 | ACM PANELS**



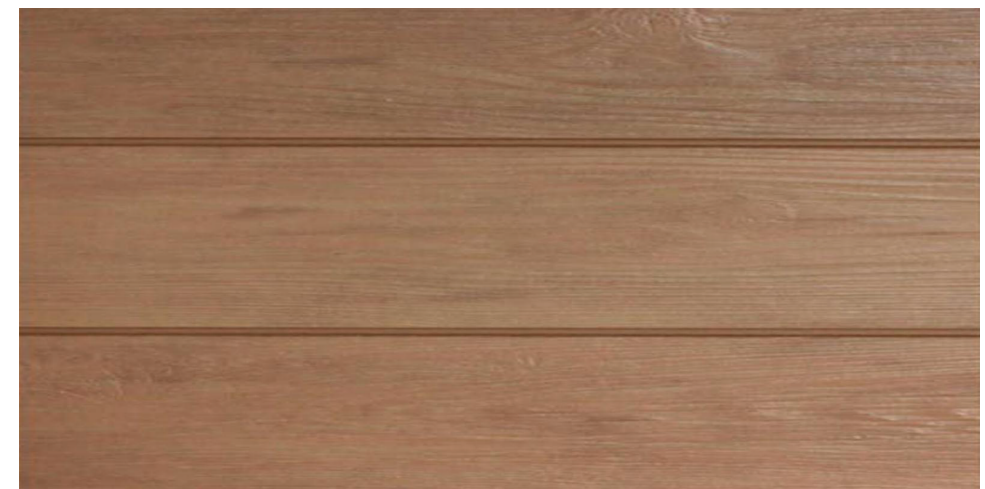
**MP-2 | CORRUGATED PANELS**



**MP-3 | BRITE RED**



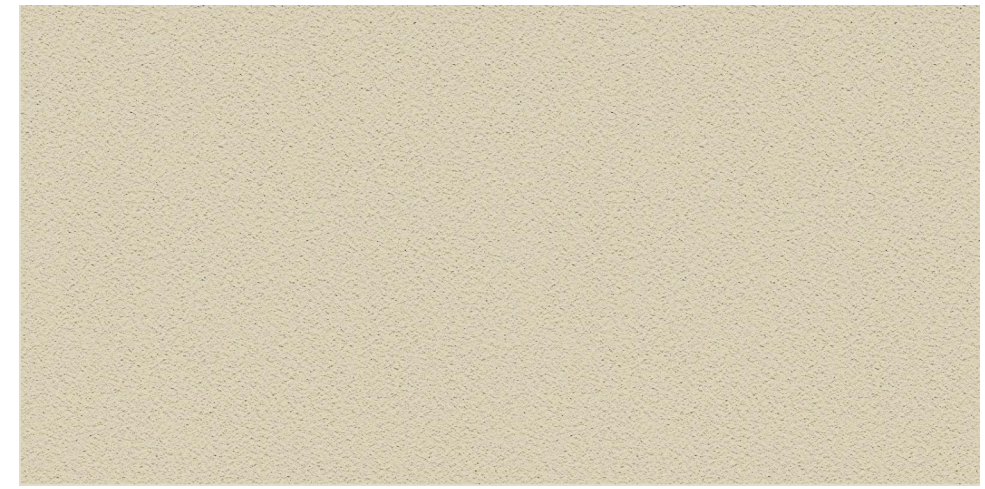
**MP-4 | TRESPA PANEL**



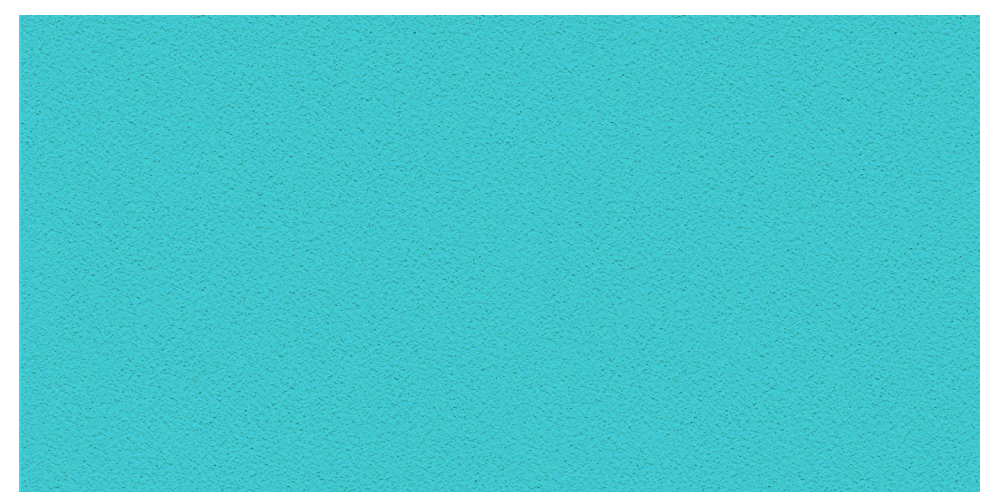
**FC-1 | FIBER CEMENT BOARDS**



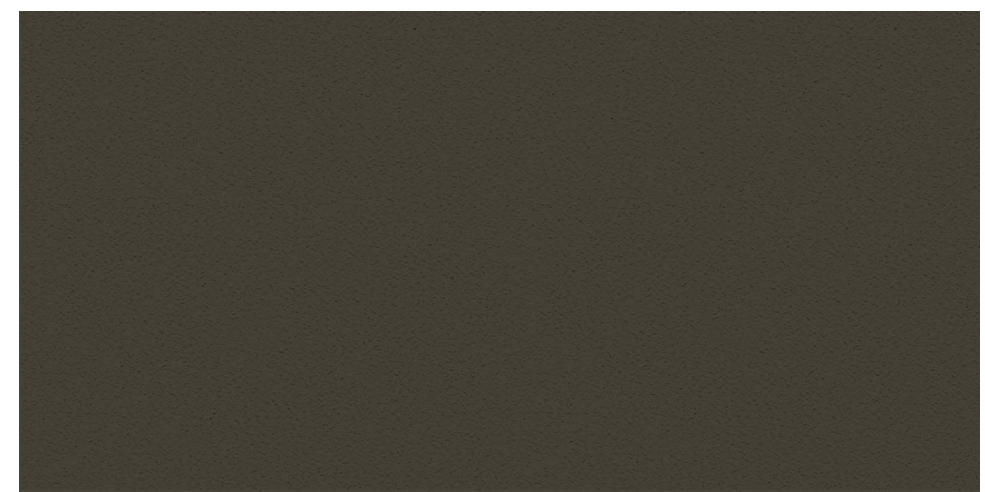
**STL-1 | EXPOSED STEEL**



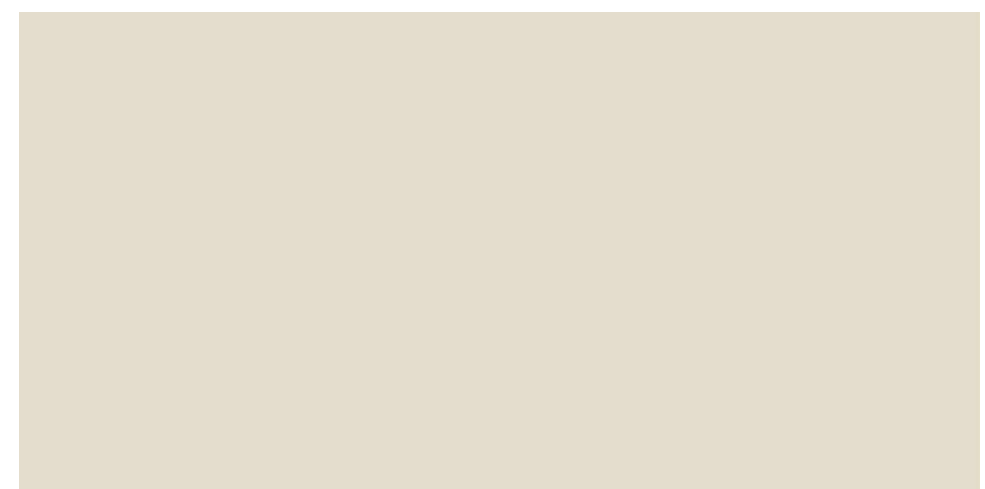
**STC-1 | PAINTED PT-1**



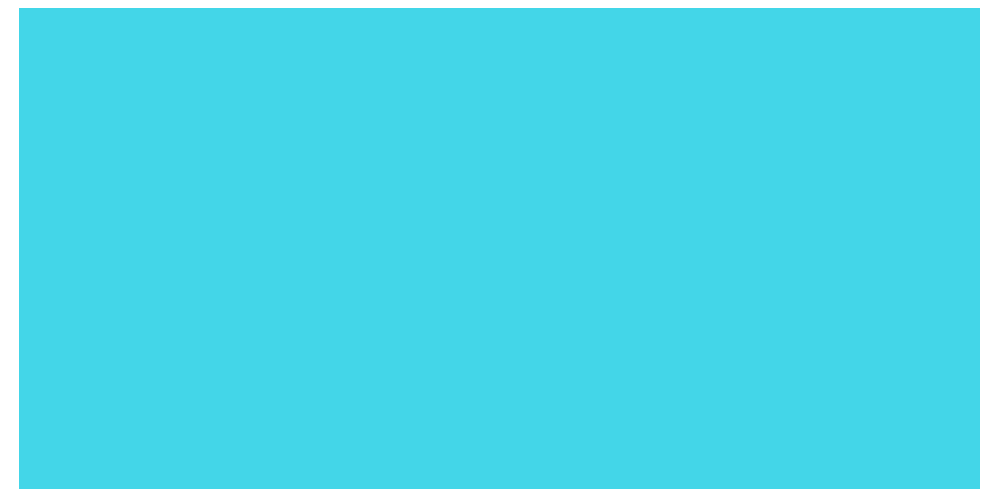
**STC-2 | PAINTED PT-2**



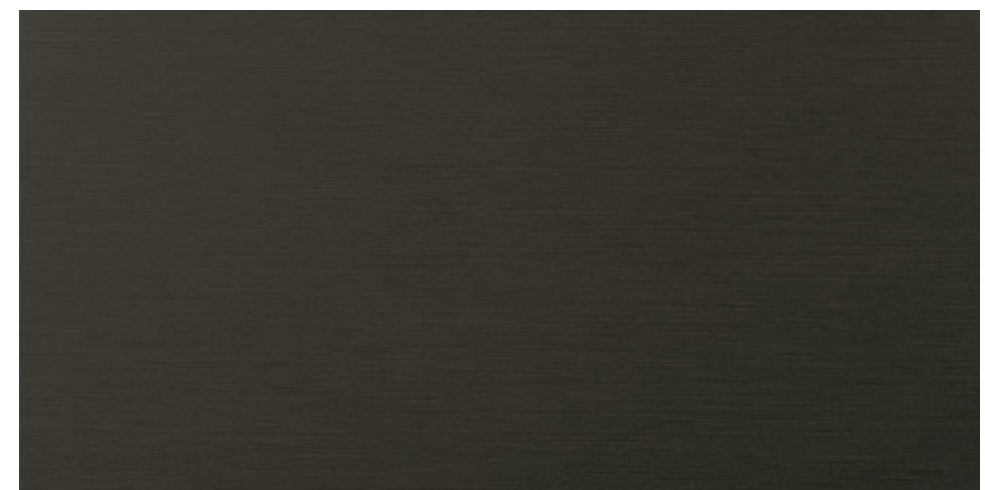
**STC-3 | PAINTED PT-3**



**PT-1 | BRANDIED PEARS**



**PT-2 | CURBSIDE BLUE**



**PT-3 | BROWN**



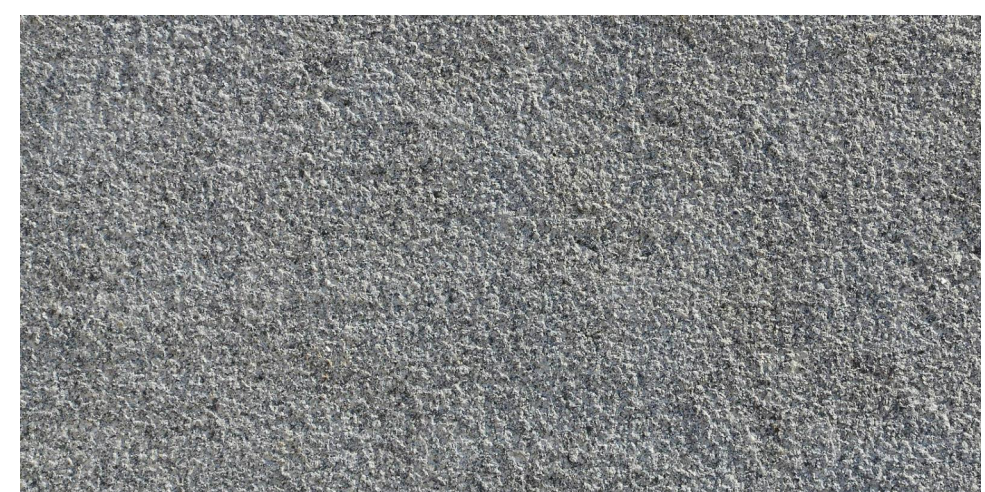
**PT-4 | DARK BRONZE**



**SF-1 / SF-2 | STOREFRONT**



**SCR-1 | SCREENS**



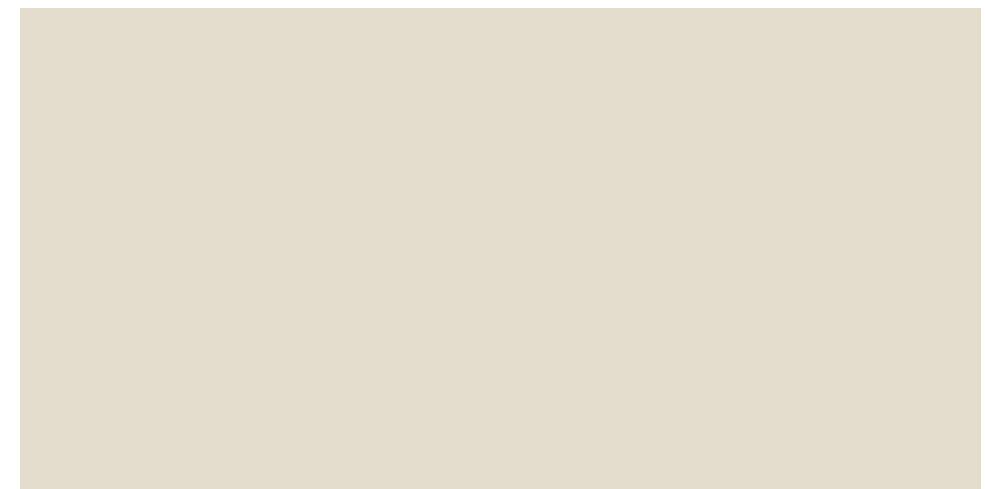
**PC-1 | PRE-CAST STONE CAP**



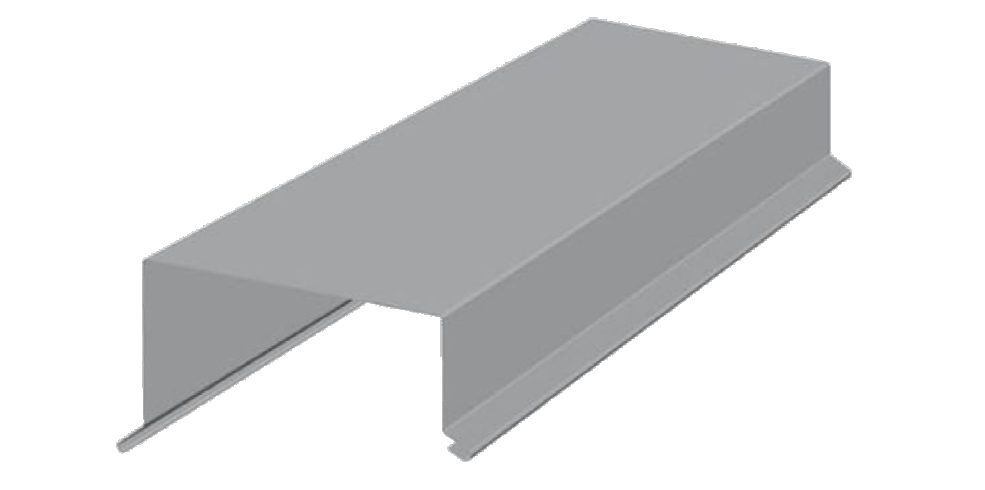
**PC-2 | PRE-CAST STONE LEDGE**



**CONC-1 | CONCRETE**



**TPO | ROOF**



**MC | METAL COPING**

| EXTERIOR FINISH LEGEND |  |  |
|------------------------|--|--|
| CODE                   | MATERIAL   | BASIS OF DESIGN / FINISH   |
| <b>MASONRY</b>         |  |  |
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| STN-1                  | STONE VENEER   | CUT LIMESTONE CHOP FACE FINISH - RANDOM ASHLAR PATTERN   MIXED COLOR   |
| <b>METAL</b>           |  |  |
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| SOF-1                  | PRE-FINISHED TRESPA METEON PANEL                     | 3/8" THICK DECORATIVE HIGH-PRESSURE TRESPA METEON PANEL   FRENCH WALNUT  |
| FC-1                   | PANELIZED FIBER CEMENT CLADDING SYSTEM               | NICHIBA ARCHITECTURAL WALL PANEL   VINTAGEWOOD - CEDAR   |
| STL-1                  | PAINTED EXPOSED STRUCTURAL STEEL                     | BLACK MAGIC - PPG 1001-7   |
| <b>STUCCO</b>          |  |  |
| STC-1                  | 3 PART CEMENTITIOUS STUCCO VENEER                    | 8in POWERWALL Cl w/ CRACK DEFENSE SYSTEM   PT-1  |
| STC-2                  | 3 PART CEMENTITIOUS STUCCO VENEER                    | 8in POWERWALL Cl w/ CRACK DEFENSE SYSTEM   PT-2  |
| STC-3                  | 3 PART CEMENTITIOUS STUCCO VENEER                    | 8in POWERWALL Cl w/ CRACK DEFENSE SYSTEM   PT-3  |
| <b>PAINT</b>           |  |  |
| PT-1                   | PAINT  | LIGHT BEIGE PPG1086-2   BRANDIED PEARS   |
| PT-2                   | PAINT  | CUSTOM BY BEHR   CURBSIDE BLUE<br>CUSTOM BY BEHR FORMULA SL-1 OE. 306   EL-1 OE. 308   KXL-6 OE. 0   |
| PT-3                   | PAINT  | BROWN   PPG COLOR TID  |
| PT-4                   | PAINT  | DARK BRONZE  |
| <b>MISC</b>            |  |  |
| SF-1                   | ALUMINUM STOREFRONT SYSTEM                           | GUARDIAN SUNGLARD - ENX 5103 - OUTBOARD & INBOARD CLEAR KAWNEER TRIPAK 40T1   DARK BRONZE  |
| SF-2                   | ALUMINUM STOREFRONT SYSTEM                           | ALUMINUM INFILL PANEL - PRE-FINISHED BY STOREFRONT MANUFACTURER   DARK BRONZE  |
| SCR-1                  | EXTRUDED ALUMINUM HORIZONTAL BLADE EQUIPMENT SCREENS | INDUSTRIAL LOUVERS - MODEL 450XP1   COLOR TO MATCH PT-1  |
| PC-1                   | PRE-CAST STONE CAPS                                  | ADVANCED ARCHITECTURAL   DOVE GRAY   |
| PC-2                   | PRE-CAST STONE CAPS                                  | ADVANCED ARCHITECTURAL   MATCH PT-1  |
| CONC-1                 | EXPOSED CONCRETE STRUCTURE                           | PAINT PT-1 AS NOTED  |
| TPO-1                  | ROOF   | 60 MIL SINGLE PLY THERMOPLASTIC ROOFING MEMBRANE   MATCH PT-1  |
| MC                     | METAL COPING   | PRE-FINISHED 6061 ALUMINUM TAPERED PARAPET CAP W/ CONTINUOUS GLEAT   4" OUTSIDE FACE W/ 4" INSIDE FACE METAL DIA PERMANENT COPING TO MATCH ADJACENT WALL COLOR |

| Revision | Description | Date |
|----------|-------------|------|
|          |             |      |
|          |             |      |
|          |             |      |
|          |             |      |

THESE DOCUMENTS ARE PRELIMINARY AND ARE NOT INTENDED FOR BIDDING, PERMITTING OR CONSTRUCTION PURPOSES.  
 ARCHITECT: RSP ARCHITECTS, LTD.  
 RSP ARCHITECTS, LTD.  
 6901 W. 4th Street, Suite 100  
 Fort Worth, TX 76102  
 817.277.8556 fax  
 www.rsparchitects.com

**RSP Architects**  
 6901 W. 4th Street, Suite 100  
 Fort Worth, TX 76102  
 817.277.8556 fax  
 www.rsparchitects.com


PROJECT #  
 H.E.B. ROCKWALL - STORE  
 12.519 ACRES  
 LOT 1 | BLOCK 1  
 AN ADDITION TO THE CITY OF ROCKWALL  
 ROCKWALL COUNTY, TEXAS  
 DECEMBER, 2023

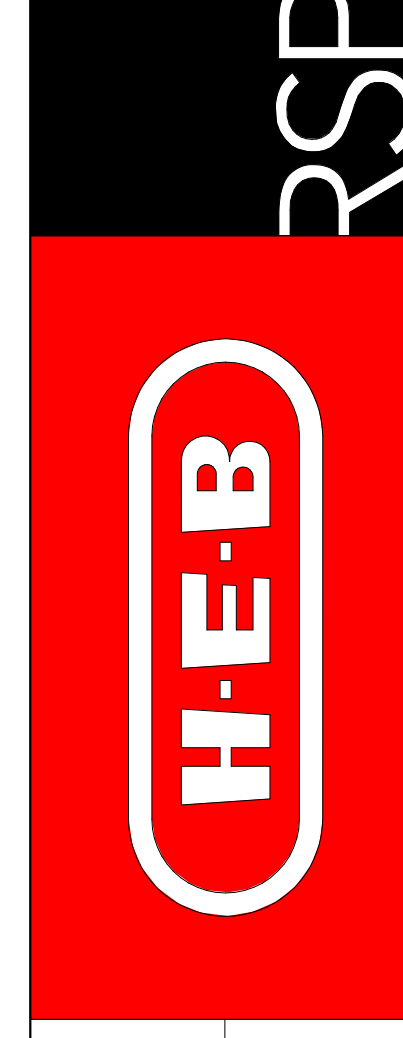
GROCERY COMPANY LP OWNER  
 646 S. FLORES ST. (210) 938-4076  
 SAN ANTONIO, TEXAS 78204  
 CONTACT: LANCE KLEIN

BGE, INC. ENGINEER  
 2595 DALLAS PKWY, SUITE 101 (972) 464-4865  
 FRISCO, TEXAS 75034  
 CONTACT: NICK HOBBS

**CITY OF ROCKWALL GENERAL NOTES**

- THIS FACADE PLAN IS FOR CONCEPTUAL PURPOSES ONLY. ALL BUILDING PLANS REQUIRE REVIEW AND APPROVAL FROM THE BUILDING INSPECTIONS DIVISION.
- ALL MECHANICAL EQUIPMENT SHALL BE SCREENED FROM PUBLIC VIEW. ROOF TOP MOUNTED EQUIPMENT SHALL BE SCREENED BY A PAINTED WALL OR SCREENING WALL. SCREENING WALLS SHALL BE PAINTED TO MATCH THE BUILDING.
- WHEN PERMITTED, EXPOSED UTILITIES BOXES AND CONDUITS SHALL BE PAINTED TO MATCH THE BUILDING.
- ALL SIGNAGE AREAS AND LOCATIONS ARE SUBJECT TO APPROVAL BY THE BUILDING INSPECTIONS DIVISION.
- WIREDOCS SHALL HAVE A MINIMUM EXTERIOR VISIBLE REFLECTIVITY OF TEN (10) PERCENT.
- ANY DEVIATION FROM THE APPROVED FACADE PLAN WILL REQUIRE RE-APPROVAL BY THE TOWN OF PROSPER.

**CITY APPROVAL**  




MATERIAL BOARD  
 H.E.B. ROCKWALL | CORP # 810  
 XXX-XXX-XXX | Rockwall, Texas  
 XXXXX

|                                 |
|---------------------------------|
| SCALE: AS INDICATED             |
| CONSEIL<br>PROJ. NO. 3483.01.00 |
| DATE: 12.11.2023                |
| SHEET NO. <b>04</b>             |

| Luminaire Schedule |     |       |                                |                 |            |
|--------------------|-----|-------|--------------------------------|-----------------|------------|
| Symbol             | Qty | Label | Description                    | Luminaire Watts | BUG Rating |
|                    | 2   | M2-18 | MRM-LED-18L-SIL-2-50-70CRI-IL  | 135             | B1-U0-G2   |
|                    | 4   | M3-12 | MRM-LED-12L-SIL-3-40-70CRI     | 85              | B2-U0-G2   |
|                    | 17  | M4-12 | MRM-LED-12L-SIL-FT-40-70CRI-IL | 85              | B1-U0-G2   |
|                    | 10  | M4-18 | MRM-LED-18L-SIL-FT-40-70CRI-IL | 135             | B1-U0-G3   |
|                    | 20  | M5-36 | MRM-LED-30L-SIL-5W-40-70CRI    | 232             | B5-U0-G3   |
|                    | 17  | RD    | HC615D010-HM612840-61MDH       | 14              | B1-U0-G0   |
|                    | 51  | RE    | HC640D010-HM634835-61WDH       | 40              | B3-U0-G0   |
|                    | 19  | X5    | AXCL6A                         | 56.43           | B2-U0-G1   |

| Calculation Summary  |             |       |       |      |     |         |         |
|----------------------|-------------|-------|-------|------|-----|---------|---------|
| Label                | CalcType    | Units | Avg   | Max  | Min | Avg/Min | Max/Min |
| Parking Lot          | Illuminance | Fc    | 3.17  | 23.3 | 0.0 | N.A.    | N.A.    |
| Property Line        | Illuminance | Fc    | 0.12  | 0.2  | 0.0 | N.A.    | N.A.    |
| Curbside             | Illuminance | Fc    | 10.90 | 23.3 | 0.6 | 18.17   | 38.83   |
| Front of Store Drive | Illuminance | Fc    | 2.70  | 5.3  | 0.1 | 27.00   | 53.00   |
| Main Parking         | Illuminance | Fc    | 2.71  | 5.7  | 1.5 | 1.81    | 3.80    |
| Rear Entry Drive     | Illuminance | Fc    | 2.30  | 3.9  | 0.1 | 23.00   | 39.00   |
| Side Parking         | Illuminance | Fc    | 2.44  | 3.6  | 0.7 | 3.49    | 5.14    |
| TXBBO                | Illuminance | Fc    | 4.36  | 12.1 | 1.3 | 3.35    | 9.31    |

Luminaires & Lamps Furnished By Villa Lighting Inc. St Louis, MO. 63103  
 (800)325-0693  
 www.villalighting.com

The electrical contractor shall be responsible for receiving, storage, installation and wiring of light fixtures.

The electrical contractor shall report any damaged light fixtures or missing parts to Villa Lighting within 48 hours of receipt of light fixture package.

Design is based on current information provided at the time of request. Any changes in mounting height, mounting location, lamp wattage, lamp type, and existing field conditions that effect any of the previously mentioned will void the current layout and require a change request and recalculation. Calculations are based upon a computer simulation and actual field calculations may vary.

Fixtures mounted on 35' pole & 3' base  
 Light level calculated on the ground

Comments

Date

#

Revisions

Date:12/1/2023

HEB  
 ROCKWALL, TX





# Mirada Medium (MRM)

## Outdoor LED Area Light



IP66 IK08



### OVERVIEW

|                      |                |
|----------------------|----------------|
| Lumen Package        | 7,000 - 48,000 |
| Wattage Range        | 48 - 401       |
| Efficacy Range (LPW) | 117 - 160      |
| Weight lbs(kg)       | 30 (13.6)      |

### QUICK LINKS

[Ordering Guide](#)[Performance](#)[Photometrics](#)[Dimensions](#)

## FEATURES & SPECIFICATIONS

### Construction

- Rugged die-cast aluminum housing contains factory prewired driver and optical unit. Cast aluminum wiring access door located underneath.
- Designed to mount to square or round poles.
- Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 37 lbs in carton.

### Optical System

- State-of-the-Art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated sealed optical chamber in 1 component.
- Proprietary silicone refractor optics provide exceptional coverage and uniformity in IES Types 2, 3, 5W, FT, FTA and AM.
- Silicone optical material does not yellow or crack with age and provides a typical light transmittance of 93%.
- Zero uplight.
- Available in 5000K, 4000K, and 3000K color temperatures per ANSI C78.377. Also Available in Phosphor Converted Amber with Peak intensity at 610nm.
- Minimum CRI of 70.
- Integral louver (IL) and integral half louver (IH) options available for enhanced backlight control.

### Electrical

- High-performance programmable driver features over-voltage, under-voltage, short-circuit and over temperature protection. Custom lumen and wattage packages available.
  - 0-10V dimming (10% - 100%) standard.
  - Standard Universal Voltage (120-277 Vac) Input 50/60 Hz or optional High Voltage (347-480 Vac).
  - L80 Calculated Life: >100k Hours (See Lumen Maintenance chart)
  - Total harmonic distortion: <20%
  - Operating temperature: -40°C to +50°C (-40°F to +122°F). 42L and 48L lumen packages rated to +40°C.
  - Power factor: >.90
  - Input power stays constant over life.
  - Field replaceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).
  - High-efficacy LEDs mounted to metal-core circuit board to maximize heat dissipation
  - Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed.
- ### Controls
- Optional integral passive infrared Bluetooth™ motion and photocell sensor (see page 8 for more details). Fixtures operate independently and can be commissioned via iOS or Android configuration app
  - LSI's AirLink™ wireless control system options reduce energy and maintenance

costs while optimizing light quality 24/7. (see controls section for more details).

### Installation

- Designed to mount to square or round poles.
- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga. wire.
- Utilizes LSI's traditional 3" drill pattern B3 for easy fastening of LSI products.

### Warranty

- LSI LED Fixtures carry a 5-year warranty.

### Listings

- Listed to UL 1598 and UL 8750.
- Meets Buy American Act requirements.
- IDA compliant; with 3000K color temperature selection.
- Title 24 Compliant; see local ordinance for qualification information.
- Suitable for wet Locations.
- IP66 rated Luminaire per IEC 60598.
- 3G rated for ANSI C136.31 high vibration applications are qualified.
- DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at [www.designlights.org/QPL](http://www.designlights.org/QPL) to confirm which versions are qualified.
- Patented Silicone Optics (US Patent NO. 10,816,165 B2)
- IK08 rated luminaire per IEC 66262 mechanical impact code



# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

 **Have questions?** Call us at (800) 436-7800

## ORDERING GUIDE

[Back to Quick Links](#)

### TYPICAL ORDER EXAMPLE: MRM LED 36L SIL FTA UNV DIM 50 70CRI ALSCS04 BRZ IL

| Prefix   | Light Source | Lumen Package   | Lens   | Distribution  | Orientation <sup>2</sup>   | Voltage  | Driver  |
|--|--------------|---|--|---|--|--|---|
| <b>MRM</b> - Mirada Medium Area Light  | <b>LED</b>   | <b>7L</b> - 7,000 lms<br><b>9L</b> - 9,000 lms<br><b>12L</b> - 12,000 lms<br><b>18L</b> - 18,000 lms<br><b>24L</b> - 24,000 lms<br><b>30L</b> - 30,000 lms<br><b>36L</b> - 36,000 lms<br><b>42L</b> - 42,000 lms<br><b>48L</b> - 48,000 lms<br>Custom Lumen Packages <sup>1</sup> | <b>SIL</b> - Silicone  | <b>2</b> - Type 2<br><b>3</b> - Type 3<br><b>5W</b> - Type 5 Wide<br><b>FT</b> - Forward Throw<br><b>FTA</b> - Forward Throw Automotive<br><b>AM</b> - Automotive Merchandise | <b>(blank)</b> - standard<br><b>L</b> - Optics rotated left 90°<br><b>R</b> - Optics rotated right 90°             | <b>UNV</b> - Universal Voltage (120-277V)<br><b>HV</b> - High Voltage (347-480V) | <b>DIM</b> - 0-10V Dimming (0-10%)  |
| Color Temp   |              | Color Rendering   | Finish   |   | Options  |  |   |
| <b>50</b> - 5,000 CCT<br><b>40</b> - 4,000 CCT<br><b>30</b> - 3,000 CCT<br><b>AMB</b> - Phosphor Converted Amber <sup>12</sup> |              | <b>70CRI</b> - 70 CRI   | <b>BLK</b> - Black<br><b>BRZ</b> - Dark Bronze<br><b>GMG</b> - Gun Metal Gray<br><b>GPT</b> - Graphite |   | <b>MSV</b> - Metallic Silver<br><b>PLP</b> - Platinum Plus<br><b>SVG</b> - Satin Verde Green<br><b>WHT</b> - White |  | <b>(Blank)</b> - None<br><b>IH</b> - Integral Half Louver (Moderate Spill Light Cutoff) <sup>2</sup><br><b>IL</b> - Integral Louver (Sharp Spill Light Cutoff) <sup>2</sup> |

### Controls (Choose One)

**(Blank)** - None

#### Wireless Controls System

- ALSC** - AirLink Synapse Control System
- ALSCH** - AirLink Synapse Control System Host / Satellite<sup>3</sup>
- ALSCS02** - AirLink Synapse Control System with 12-20' Motion Sensor
- ALSCS02** - AirLink Synapse Control System Host / Satellite with 12-20' Motion Sensor<sup>3</sup>
- ALSCS04** - AirLink Synapse Control System with 20-40' Motion Sensor
- ALSCS04** - AirLink Synapse Control System Host / Satellite with 20-40' Motion Sensor<sup>3</sup>
- ALBCS1** - AirLink Blue Wireless Motion & Photo Sensor Controller (8-24' mounting height)
- ALBCS2** - AirLink Blue Wireless Motion & Photo Sensor Controller (25-40' mounting height)

#### Stand-Alone Controls

- EXT** - 0-10V Dimming leads extended to housing exterior
- CR7P** - 7 Pin Control Receptacle ANSI C136.41<sup>6</sup>
- IMSBT1** - Integral Bluetooth™ Motion and Photocell Sensor (8-24' MH)<sup>5</sup>
- IMSBT2** - Integral Bluetooth™ Motion and Photocell Sensor (25-40' MH)<sup>5</sup>

#### Button Type Photocells

- PC120** - 120V
- PC208-277** - 208-277V
- PC347** - 347V



**Need more information?**  
Click here for our glossary

**Have additional questions?**  
Call us at (800) 436-7800



## ACCESSORY ORDERING INFORMATION<sup>7</sup>

| CONTROLS ACCESSORIES   |              |
|--|--------------|
| Description  | Order Number |
| PC120 Photocell for use with CR7P option (120V) <sup>8</sup>                 | 122514       |
| PC208-277 Photocell for use with CR7P option (208V, 240V, 277V) <sup>8</sup> | 122515       |
| Twist Lock Photocell (347V) for use with CR7P <sup>8</sup>                   | 122516       |
| Twist Lock Photocell (480V) for use with CR7P <sup>8</sup>                   | 1225180      |
| AirLink 5 Pin Twist Lock Controller <sup>8</sup>                             | 661409       |
| AirLink 7 Pin Twist Lock Controller <sup>8</sup>                             | 661410       |
| Shorting Cap for use with CR7P   | 149328       |

| FUSING OPTIONS <sup>11</sup> |  |
|------------------------------|--|
| Single Fusing (120V)         | <a href="#">See Fusing Accessory Guide</a> |
| Single Fusing (277V)         |  |
| Double Fusing (208V, 240V)   |  |
| Double Fusing (480V)         |  |
| Double Fusing (347V)         |  |

| SHIELDING OPTIONS |                                     |
|-------------------|-------------------------------------|
| Mirada Small      | <a href="#">See Shielding Guide</a> |
| Mirada Medium     |                                     |
| Mirada Large      |                                     |
| Zone Medium       |                                     |
| Zone Large        |                                     |
| Slice Medium      |                                     |

1. Custom lumen and wattage packages available, consult factory. Values are within industry standard tolerances but not DLC listed.  
 2. Not available with 5W distribution  
 3. Consult Factory for availability.  
 4. Not available in HV.  
 5. IMSBT is field configurable via the LSI app that can be downloaded from your smartphone's native app store.  
 6. Control device or shorting cap must be ordered separately. See Accessory Ordering Information.

7. Accessories are shipped separately and field installed.  
 8. Factory installed CR7P option required. See Options.  
 9. "CLR" denotes finish. See Finish options.  
 10. Only available with ALSC/ALSCH control options.  
 11. Fusing must be located in hand hole of pole. See [Fusing Accessory Guide](#) for compatibility.  
 12. Only available in 9L, 12L, 18L and 24L Lumen Packages. Consult factory for lead time and availability.

# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

**Have questions?** Call us at (800) 436-7800

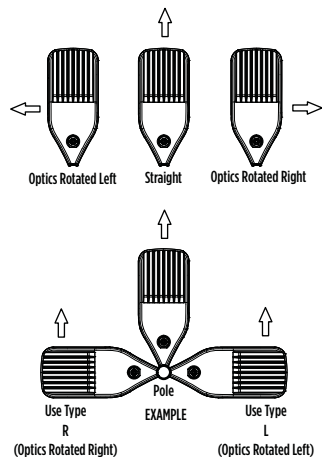
## ACCESSORIES

| MOUNTING ACCESSORIES  |   | SHIELDING, POLES & MISC. ACCESSORIES |  |
|-----------------------|---|--------------------------------------|--|
| Side Arm              | <b>Universal Mounting Bracket</b><br>Mounts to $\geq 3"$ square or round (tapered/straight) poles with (2) mounting hole spaces between 3.5" to 5"<br><b>Part Number: BKA UMB CLR</b> |                                      | <b>Shielding</b><br><b>Integral Louver</b><br>Field Install Integral Louver provides maximum backlight control by shielding each individual row of LEDs<br><b>Part Number: 686485</b><br><br><b>Integral Half Louver</b><br>Field Install Integral Half Louver provides great backlight control without impacting front side distribution.<br><b>Part Number: 743416</b><br><br><b>External Shield</b><br>External shield blocks view of light source from any side of luminaire, additional shielding configurations available<br><b>Part Number: 785970BLK (3") / 785962BLK (6")</b><br> |
|                       | <b>Quick Mount Plate</b><br>True one person installation to existing/new construction poles with hole spaces between 2.4 to 4.6"<br><b>Part Number: BKS PQM B3B5 XX CLR</b>           |                                      |  |
|                       | <b>15° Tilt Quick Mount Plate</b><br>True one person installation to existing/new construction poles with hole spaces between 2.4 to 4.6"<br><b>Part Number: BKS PQ15 B3B5 XX CLR</b> |                                      |  |
| Tenon / Slipfitter    | <b>Adjustable Slipfitter</b><br>Mounts onto a 2" (51mm) ID, 2.375" (60mm) O.D. tenon and provides 180° of tilt (max 45° above horizontal)<br><b>Part Number: BKA ASF CLR</b>          |                                      | <b>Poles</b><br><b>Square Poles</b><br>14 - 39" steel and aluminum poles in 4", 5" and 6" sizes for retrofit and new construction<br><b>Part Number: 45Q/55Q/65Q</b><br><br><b>Round Poles</b><br>10 - 30" steel and aluminum poles in 4" and 5" sizes for retrofit and new construction<br><b>Part Number: 4RP/5RP</b><br><br><b>Tapered Poles</b><br>20" - 39" steel and aluminum poles for retrofit and new construction<br><b>Part Number: RTP</b><br>   |
|                       | <b>Square Tenon Top</b><br>Mounts onto a 2" (51mm) ID, 2.375" (60mm) O.D. tenon and allows for mounting up to 4 luminaires<br><b>Part Number: BKA XNM *</b>                           |                                      |  |
|                       | <b>Square Internal Slipfitter</b><br>Mounts inside 4" or 5" square pole and allows for mounting up to 4 luminaires<br><b>Part Number: BKA X_ISF * CLR</b>                             |                                      |  |
| Wall Mount/ Wood Pole | <b>Wall Mount Bracket</b><br>Mounts onto vertical wall surface ( hardware/anchors not included)<br><b>Part Number: BKS XBO WM CLR</b>   |                                      | <b>Misc.</b><br><b>Bird Spikes</b><br>10' Linear Bird Spike Kit, 4' recommended per luminaire, includes silicone adhesive and application tool<br><b>Part Number: 736795</b><br>   |
|                       | <b>Wood Pole Bracket</b><br>Mounts onto wooden poles (6" minimum OD, hardware/anchors not included)<br><b>Part Number: BKS XBO WP CLR</b>   |                                      |  |

Replace CLR with paint finish description  
 Replace XX with SQ for square pole or RD for round pole ( $\geq 3"$  OD)  
 Replace \* with S (Single), D180 (Double @180°), D90 (Double @90°), T90 (Triple), Q90 (Quad)  
 Replace \_ with 4 (4" square pole) or 5 (5" square pole)

## OPTICS ROTATION

Top View



## ACCESSORIES/OPTIONS

### Integral Louver (IL) and House-Side Shield (IH)

Integral louver (IL) and half louver (IH) accessory shields available for improved backlight control without sacrificing street side performance. LSI's Integral Louver (IL) and Integral House-Side Shield (IH) options deliver backlight control that significantly reduces spill light behind the poles for applications with pole locations close to adjacent properties. The design maximizes forward reflected light while reducing glare, maintaining the optical distribution selected, and most importantly eliminating light trespass. Both options rotate

Luminaire Shown with Integral Louver (IL)



Luminaire Shown with IMSBT Option



### 7 Pin Photoelectric Control

7-pin ANSI C136.41-2013 control receptacle option available for twist lock photocontrols or wireless control modules. Control accessories sold separately. Dimming leads from the receptacle will be connected to the driver dimming leads (Consult factory for alternate wiring).

Luminaire Shown with CR7P



# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

 Have questions? Call us at (800) 436-7800

## PERFORMANCE

[Back to Quick Links](#)

| DELIVERED LUMENS* |              |     |                  |          |            |                  |          |            |                  |          |            |         |
|-------------------|--------------|-----|------------------|----------|------------|------------------|----------|------------|------------------|----------|------------|---------|
| Lumen Package     | Distribution | CRI | 3000K CCT        |          |            | 4000K CCT        |          |            | 5000K CCT        |          |            | Wattage |
|                   |              |     | Delivered Lumens | Efficacy | BUG Rating | Delivered Lumens | Efficacy | BUG Rating | Delivered Lumens | Efficacy | BUG Rating |         |
| 7L                | 2            | 70  | 7560             | 157      | B2-U0-G2   | 7560             | 157      | B2-U0-G2   | 7560             | 157      | B2-U0-G2   | 48      |
|                   | 3            |     | 7616             | 159      | B1-U0-G2   | 7616             | 159      | B1-U0-G2   | 7616             | 159      | B1-U0-G2   |         |
|                   | 5W           |     | 7292             | 152      | B3-U0-G1   | 7292             | 152      | B3-U0-G1   | 7292             | 152      | B3-U0-G1   |         |
|                   | FT           |     | 7562             | 158      | B2-U0-G2   | 7562             | 158      | B2-U0-G2   | 7562             | 158      | B2-U0-G2   |         |
|                   | FTA          |     | 7595             | 158      | B2-U0-G2   | 7595             | 158      | B2-U0-G2   | 7595             | 158      | B2-U0-G2   |         |
|                   | AM           |     | 7687             | 160      | B1-U0-G1   | 7687             | 160      | B1-U0-G1   | 7687             | 160      | B1-U0-G1   |         |
| 9L                | 2            | 70  | 9853             | 159      | B2-U0-G2   | 9853             | 159      | B2-U0-G2   | 9853             | 159      | B2-U0-G2   | 62      |
|                   | 3            |     | 9926             | 160      | B2-U0-G2   | 9926             | 160      | B2-U0-G2   | 9926             | 160      | B2-U0-G2   |         |
|                   | 5W           |     | 9504             | 153      | B3-U0-G2   | 9504             | 153      | B3-U0-G2   | 9504             | 153      | B3-U0-G2   |         |
|                   | FT           |     | 9856             | 159      | B2-U0-G3   | 9856             | 159      | B2-U0-G3   | 9856             | 159      | B2-U0-G3   |         |
|                   | FTA          |     | 9900             | 160      | B2-U0-G2   | 9900             | 160      | B2-U0-G2   | 9900             | 160      | B2-U0-G2   |         |
|                   | AM           |     | 10019            | 162      | B2-U0-G1   | 10019            | 162      | B2-U0-G1   | 10019            | 162      | B2-U0-G1   |         |
| 12L               | 2            | 70  | 13135            | 155      | B3-U0-G2   | 13135            | 155      | B3-U0-G2   | 13135            | 155      | B3-U0-G2   | 85      |
|                   | 3            |     | 13232            | 156      | B2-U0-G2   | 13232            | 156      | B2-U0-G2   | 13232            | 156      | B2-U0-G2   |         |
|                   | 5W           |     | 12669            | 149      | B4-U0-G2   | 12669            | 149      | B4-U0-G2   | 12669            | 149      | B4-U0-G2   |         |
|                   | FT           |     | 13138            | 155      | B2-U0-G3   | 13138            | 155      | B2-U0-G3   | 13138            | 155      | B2-U0-G3   |         |
|                   | FTA          |     | 13196            | 155      | B2-U0-G2   | 13196            | 155      | B2-U0-G2   | 13196            | 155      | B2-U0-G2   |         |
|                   | AM           |     | 13355            | 157      | B2-U0-G2   | 13355            | 157      | B2-U0-G2   | 13355            | 157      | B2-U0-G2   |         |
| 18L               | 2            | 70  | 19318            | 143      | B3-U0-G3   | 19318            | 143      | B3-U0-G3   | 19318            | 143      | B3-U0-G3   | 135     |
|                   | 3            |     | 19461            | 144      | B3-U0-G3   | 19461            | 144      | B3-U0-G3   | 19461            | 144      | B3-U0-G3   |         |
|                   | 5W           |     | 18633            | 138      | B4-U0-G2   | 18633            | 138      | B4-U0-G2   | 18633            | 138      | B4-U0-G2   |         |
|                   | FT           |     | 19324            | 143      | B3-U0-G3   | 19324            | 143      | B3-U0-G3   | 19324            | 143      | B3-U0-G3   |         |
|                   | FTA          |     | 19408            | 144      | B3-U0-G3   | 19408            | 144      | B3-U0-G3   | 19408            | 144      | B3-U0-G3   |         |
|                   | AM           |     | 19641            | 145      | B3-U0-G2   | 19641            | 145      | B3-U0-G2   | 19641            | 145      | B3-U0-G2   |         |
| 24L               | 2            | 70  | 25957            | 147      | B4-U0-G3   | 25957            | 147      | B4-U0-G3   | 25957            | 147      | B4-U0-G3   | 176     |
|                   | 3            |     | 26149            | 149      | B3-U0-G4   | 26149            | 149      | B3-U0-G4   | 26149            | 149      | B3-U0-G4   |         |
|                   | 5W           |     | 25037            | 142      | B5-U0-G3   | 25037            | 142      | B5-U0-G3   | 25037            | 142      | B5-U0-G3   |         |
|                   | FT           |     | 25964            | 148      | B3-U0-G4   | 25964            | 148      | B3-U0-G4   | 25964            | 148      | B3-U0-G4   |         |
|                   | FTA          |     | 26077            | 148      | B3-U0-G3   | 26077            | 148      | B3-U0-G3   | 26077            | 148      | B3-U0-G3   |         |
|                   | AM           |     | 26393            | 150      | B3-U0-G2   | 26393            | 150      | B3-U0-G2   | 26393            | 150      | B3-U0-G2   |         |
| 30L               | 2            | 70  | 32417            | 140      | B4-U0-G3   | 32417            | 140      | B4-U0-G3   | 32417            | 140      | B4-U0-G3   | 232     |
|                   | 3            |     | 32656            | 141      | B3-U0-G4   | 32656            | 141      | B3-U0-G4   | 32656            | 141      | B3-U0-G4   |         |
|                   | 5W           |     | 31267            | 135      | B5-U0-G3   | 31267            | 135      | B5-U0-G3   | 31267            | 135      | B5-U0-G3   |         |
|                   | FT           |     | 32424            | 140      | B3-U0-G4   | 32424            | 140      | B3-U0-G4   | 32424            | 140      | B3-U0-G4   |         |
|                   | FTA          |     | 32566            | 140      | B4-U0-G3   | 32566            | 140      | B4-U0-G3   | 32566            | 140      | B4-U0-G3   |         |
|                   | AM           |     | 32960            | 142      | B3-U0-G3   | 32960            | 142      | B3-U0-G3   | 32960            | 142      | B3-U0-G3   |         |
| 36L               | 2            | 70  | 38275            | 133      | B4-U0-G4   | 38275            | 133      | B4-U0-G4   | 38275            | 133      | B4-U0-G4   | 288     |
|                   | 3            |     | 38557            | 134      | B4-U0-G5   | 38557            | 134      | B4-U0-G5   | 38557            | 134      | B4-U0-G5   |         |
|                   | 5W           |     | 36917            | 128      | B5-U0-G4   | 36917            | 128      | B5-U0-G4   | 36917            | 128      | B5-U0-G4   |         |
|                   | FT           |     | 38283            | 133      | B4-U0-G5   | 38283            | 133      | B4-U0-G5   | 38283            | 133      | B4-U0-G5   |         |
|                   | FTA          |     | 38450            | 134      | B4-U0-G4   | 38450            | 134      | B4-U0-G4   | 38450            | 134      | B4-U0-G4   |         |
|                   | AM           |     | 38916            | 135      | B3-U0-G3   | 38916            | 135      | B3-U0-G3   | 38916            | 135      | B3-U0-G3   |         |

# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

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## PERFORMANCE (CONT.)

| DELIVERED LUMENS* |              |     |                  |          |            |                  |          |            |                  |          |            |         |
|-------------------|--------------|-----|------------------|----------|------------|------------------|----------|------------|------------------|----------|------------|---------|
| Lumen Package     | Distribution | CRI | 3000K CCT        |          |            | 4000K CCT        |          |            | 5000K CCT        |          |            | Wattage |
|                   |              |     | Delivered Lumens | Efficacy | BUG Rating | Delivered Lumens | Efficacy | BUG Rating | Delivered Lumens | Efficacy | BUG Rating |         |
| 42L               | 2            | 70  | 44118            | 125      | B5-U0-G4   | 44118            | 125      | B5-U0-G4   | 44118            | 125      | B5-U0-G4   | 354     |
|                   | 3            |     | 44444            | 126      | B4-U0-G5   | 44444            | 126      | B4-U0-G5   | 44444            | 126      | B4-U0-G5   |         |
|                   | 5W           |     | 42555            | 120      | B5-U0-G4   | 42555            | 120      | B5-U0-G4   | 42555            | 120      | B5-U0-G4   |         |
|                   | FT           |     | 44130            | 125      | B4-U0-G5   | 44130            | 125      | B4-U0-G5   | 44130            | 125      | B4-U0-G5   |         |
|                   | FTA          |     | 44322            | 125      | B4-U0-G4   | 44322            | 125      | B4-U0-G4   | 44322            | 125      | B4-U0-G4   |         |
|                   | AM           |     | 44859            | 127      | B4-U0-G3   | 44859            | 127      | B4-U0-G3   | 44859            | 127      | B4-U0-G3   |         |
| 48L               | 2            | 70  | 48795            | 122      | B5-U0-G4   | 48795            | 122      | B5-U0-G4   | 48795            | 122      | B5-U0-G4   | 401     |
|                   | 3            |     | 49156            | 123      | B4-U0-G5   | 49156            | 123      | B4-U0-G5   | 49156            | 123      | B4-U0-G5   |         |
|                   | 5W           |     | 47066            | 117      | B5-U0-G4   | 47066            | 117      | B5-U0-G4   | 47066            | 117      | B5-U0-G4   |         |
|                   | FT           |     | 48809            | 122      | B4-U0-G5   | 48809            | 122      | B4-U0-G5   | 48809            | 122      | B4-U0-G5   |         |
|                   | FTA          |     | 49021            | 122      | B5-U0-G4   | 49021            | 122      | B5-U0-G4   | 49021            | 122      | B5-U0-G4   |         |
|                   | AM           |     | 49615            | 124      | B4-U0-G3   | 49615            | 124      | B4-U0-G3   | 49615            | 124      | B4-U0-G3   |         |

| ELECTRICAL DATA (AMPS)* |      |      |      |      |      |      |
|-------------------------|------|------|------|------|------|------|
| Lumens                  | 120V | 208V | 240V | 277V | 347V | 480V |
| 7L                      | 0.40 | 0.23 | 0.20 | 0.17 | 0.14 | 0.10 |
| 9L                      | 0.52 | 0.30 | 0.26 | 0.22 | 0.18 | 0.13 |
| 12L                     | 0.71 | 0.41 | 0.35 | 0.31 | 0.24 | 0.18 |
| 18L                     | 1.13 | 0.65 | 0.56 | 0.49 | 0.39 | 0.28 |
| 24L                     | 1.47 | 0.85 | 0.73 | 0.64 | 0.51 | 0.37 |
| 30L                     | 1.93 | 1.12 | 0.97 | 0.84 | 0.67 | 0.48 |
| 36L                     | 2.40 | 1.38 | 1.20 | 1.04 | 0.83 | 0.60 |
| 42L                     | 2.95 | 1.70 | 1.48 | 1.28 | 1.02 | 0.74 |
| 48L                     | 3.4A | 1.9A | 1.7A | 1.5A | 1.2A | 0.8A |

| ELECTRICAL DATA - PHOSPHOR CONVERTED AMBER (AMPS)* |       |      |      |      |      |      |      |
|--|-------|------|------|------|------|------|------|
| Lumens   | Watts | 120V | 208V | 240V | 277V | 347V | 480V |
| 9L   | 74.3  | 0.6A | 0.4A | 0.3A | 0.3A | 0.2A | 0.2A |
| 12L  | 102.9 | 0.9A | 0.5A | 0.4A | 0.4A | 0.3A | 0.2A |

\*Electrical data at 25°C (77°F). Actual wattage may differ by +/-10%

| RECOMMENDED LUMEN MAINTENANCE <sup>1</sup> (7-18L) |                      |                  |                   |                   |                    |
|--|----------------------|------------------|-------------------|-------------------|--------------------|
| Ambient  | Initial <sup>2</sup> | 25h <sup>2</sup> | 50hr <sup>2</sup> | 75hr <sup>2</sup> | 100hr <sup>2</sup> |
| 0-50 C   | 100%                 | 96%              | 92%               | 88%               | 84%                |

| RECOMMENDED LUMEN MAINTENANCE <sup>1</sup> (24-48L) |                      |                  |                   |                   |                    |
|---|----------------------|------------------|-------------------|-------------------|--------------------|
| Ambient   | Initial <sup>2</sup> | 25h <sup>2</sup> | 50hr <sup>2</sup> | 75hr <sup>2</sup> | 100hr <sup>2</sup> |
| 0-40 C  | 100%                 | 100%             | 97%               | 94%               | 92%                |

1. Lumen maintenance values at 25C are calculated per TM-21 based on LM-80 data and in-situ testing.

2. In accordance with IESNA TM-21-11, Projected Values represent interpolated value based on time durations that are within six times the IESNA LM-80-08 total test duration for the device under testing.

3. In accordance with IESNA TM-21-11, Calculated Values represent time durations that exceed six times the IESNA LM-80-08 total test duration for the device under testing.

| DELIVERED LUMENS* |              |                                       |          |            |         |
|-------------------|--------------|---------------------------------------|----------|------------|---------|
| Lumen Package     | Distribution | Phosphor Converted Amber (Peak 610nm) |          |            | Wattage |
|                   |              | Delivered Lumens                      | Efficacy | BUG Rating |         |
| 9L                | 2            | 5848                                  | 80       | B2-U0-G2   | 74      |
|                   | 3            | 6018                                  | 82       | B1-U0-G2   |         |
|                   | 5W           | 5471                                  | 74       | B3-U0-G1   |         |
|                   | FT           | 5801                                  | 79       | B1-U0-G2   |         |
|                   | FTA          | 5924                                  | 81       | B1-U0-G1   |         |
|                   | AM           | 5995                                  | 81       | B1-U0-G1   |         |
| 12L               | 2            | 7550                                  | 74       | B2-U0-G2   | 102     |
|                   | 3            | 7749                                  | 76       | B1-U0-G2   |         |
|                   | 5W           | 7045                                  | 69       | B3-U0-G2   |         |
|                   | FT           | 7470                                  | 73       | B2-U0-G2   |         |
|                   | FTA          | 7628                                  | 75       | B2-U0-G2   |         |
|                   | AM           | 7720                                  | 76       | B1-U0-G1   |         |
| 18L               | 2            | 9311                                  | 69       | B2-U0-G2   | 135     |
|                   | 3            | 9582                                  | 71       | B2-U0-G2   |         |
|                   | 5W           | 8712                                  | 65       | B3-U0-G2   |         |
|                   | FT           | 9237                                  | 68       | B2-U0-G2   |         |
|                   | FTA          | 9433                                  | 70       | B2-U0-G2   |         |
|                   | AM           | 9546                                  | 71       | B2-U0-G1   |         |
| 24L               | 2            | 10955                                 | 63       | B2-U0-G2   | 175     |
|                   | 3            | 11273                                 | 64       | B2-U0-G2   |         |
|                   | 5W           | 10249                                 | 59       | B3-U0-G2   |         |
|                   | FT           | 10867                                 | 62       | B2-U0-G2   |         |
|                   | FTA          | 11097                                 | 63       | B2-U0-G2   |         |
|                   | AM           | 11230                                 | 64       | B2-U0-G1   |         |

\*LEDs are frequently updated therefore values are nominal.

# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

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## PHOTOMETRICS

[Back to Quick Links](#)

Luminaire photometry has been conducted by a NVLAP accredited testing laboratory in accordance with IESNA LM-79-08. As specified by IESNA LM-79-08 the entire luminaire is tested as the source resulting in a luminaire efficiency of 100%.

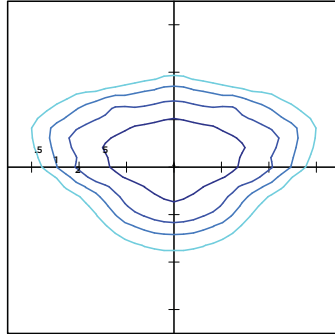
See the individual product page on <https://www.lsicorp.com/> for detailed photometric data.

### MRM-LED-30L-SIL-2-40-70CRI

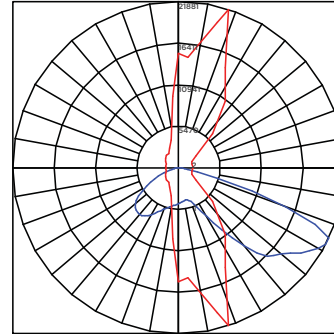
| Luminaire Data      |                     |
|---------------------|---------------------|
| Type 2 Distribution |                     |
| Description         | 4000 Kelvin, 70 CRI |
| Delivered Lumens    | 32,416              |
| Watts               | 232                 |
| Efficacy            | 140                 |
| IES Type            | Type II - Short     |
| BUG Rating          | B4-U0-G3            |

| Zonal Lumen Summary |              |             |
|---------------------|--------------|-------------|
| Zone                | Lumens       | % Luminaire |
| Low (0-30°)         | 4796         | 15%         |
| Medium (30-60°)     | 19811        | 61%         |
| High (60-80°)       | 7474         | 23%         |
| Very High (80-90°)  | 335          | 1%          |
| Uplight (90-180°)   | 0            | 0%          |
| <b>Total Flux</b>   | <b>32416</b> | <b>100%</b> |

ISO Footcandle



POLAR CURVE



25' Mounting Height/ 25' Grid Spacing

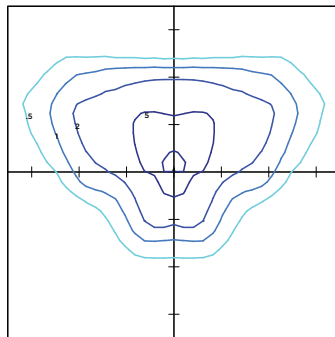
■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

### MRM-LED-30L-SIL-3-40-70CRI

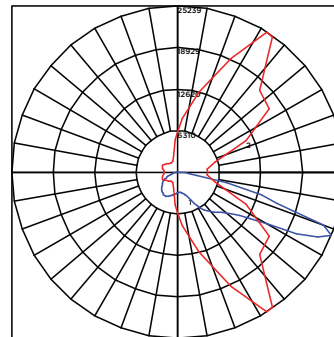
| Luminaire Data      |                     |
|---------------------|---------------------|
| Type 3 Distribution |                     |
| Description         | 4000 Kelvin, 70 CRI |
| Delivered Lumens    | 32,656              |
| Watts               | 232                 |
| Efficacy            | 141                 |
| IES Type            | Type III - Short    |
| BUG Rating          | B3-U0-G4            |

| Zonal Lumen Summary |              |             |
|---------------------|--------------|-------------|
| Zone                | Lumens       | % Luminaire |
| Low (0-30°)         | 3385         | 10%         |
| Medium (30-60°)     | 16250        | 50%         |
| High (60-80°)       | 12430        | 38%         |
| Very High (80-90°)  | 591          | 2%          |
| Uplight (90-180°)   | 0            | 0%          |
| <b>Total Flux</b>   | <b>32656</b> | <b>100%</b> |

ISO Footcandle



POLAR CURVE



25' Mounting Height/ 25' Grid Spacing

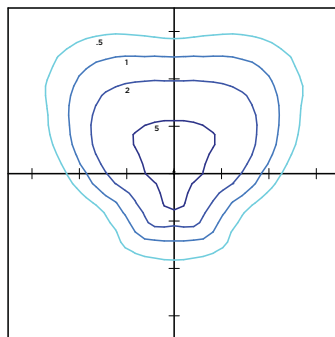
■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

### MRM-LED-30L-SIL-FT-40-70CRI

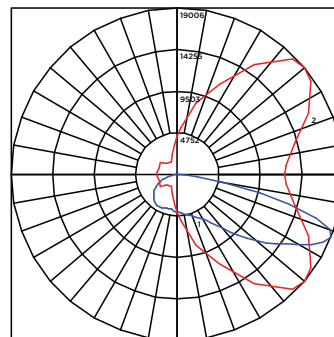
| Luminaire Data       |                     |
|----------------------|---------------------|
| Type FT Distribution |                     |
| Description          | 4000 Kelvin, 70 CRI |
| Delivered Lumens     | 32,424              |
| Watts                | 232                 |
| Efficacy             | 140                 |
| IES Type             | Type IV - Short     |
| BUG Rating           | B3-U0-G4            |

| Zonal Lumen Summary |              |             |
|---------------------|--------------|-------------|
| Zone                | Lumens       | % Luminaire |
| Low (0-30°)         | 3952         | 12%         |
| Medium (30-60°)     | 15505        | 48%         |
| High (60-80°)       | 12279        | 38%         |
| Very High (80-90°)  | 688          | 2%          |
| Uplight (90-180°)   | 0            | 0%          |
| <b>Total Flux</b>   | <b>32424</b> | <b>100%</b> |

ISO Footcandle



POLAR CURVE



25' Mounting Height/ 25' Grid Spacing

■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

# Mirada Medium Outdoor LED Area Light

Type : \_\_\_\_\_

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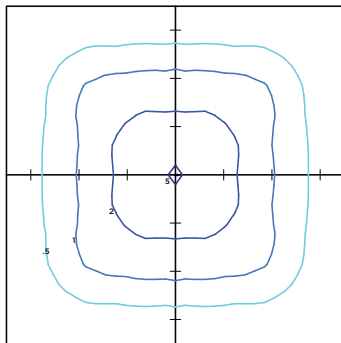
## PHOTOMETRICS (CONT)

### MRM-LED-30L-SIL-5W-40-70CRI

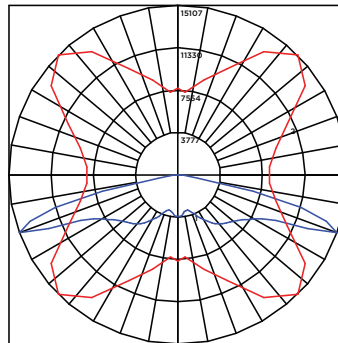
| Luminaire Data       |                     |
|----------------------|---------------------|
| Type SW Distribution |                     |
| Description          | 4000 Kelvin, 70 CRI |
| Delivered Lumens     | 31,267              |
| Watts                | 232                 |
| Efficacy             | 135                 |
| IES Type             | Type VS - Short     |
| BUG Rating           | B5-U0-G3            |

| Zonal Lumen Summary |              |             |
|---------------------|--------------|-------------|
| Zone                | Lumens       | % Luminaire |
| Low (0-30°)         | 3138         | 10%         |
| Medium (30-60°)     | 13193        | 42%         |
| High (60-80°)       | 14641        | 47%         |
| Very High (80-90°)  | 296          | 1%          |
| Uplight (90-180°)   | 0            | 0%          |
| <b>Total Flux</b>   | <b>31267</b> | <b>100%</b> |

ISO Footcandle



POLAR CURVE



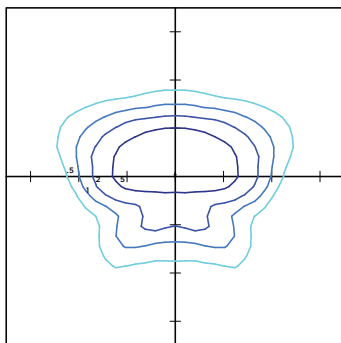
25' Mounting Height/ 25' Grid Spacing  
■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

### MRM-LED-30L-SIL-FTA-40-70CRI

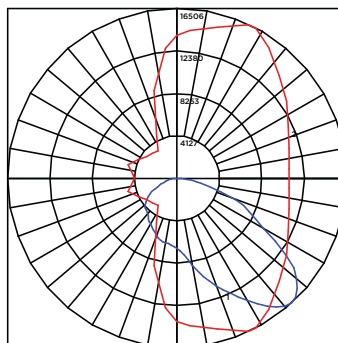
| Luminaire Data        |                     |
|-----------------------|---------------------|
| Type FTA Distribution |                     |
| Description           | 4000 Kelvin, 70 CRI |
| Delivered Lumens      | 32,566              |
| Watts                 | 232                 |
| Efficacy              | 140                 |
| IES Type              | Type VS - Short     |
| BUG Rating            | B4-U0-G3            |

| Zonal Lumen Summary |              |             |
|---------------------|--------------|-------------|
| Zone                | Lumens       | % Luminaire |
| Low (0-30°)         | 6986         | 21%         |
| Medium (30-60°)     | 19172        | 59%         |
| High (60-80°)       | 5875         | 18%         |
| Very High (80-90°)  | 534          | 2%          |
| Uplight (90-180°)   | 0            | 0%          |
| <b>Total Flux</b>   | <b>32566</b> | <b>100%</b> |

ISO Footcandle



POLAR CURVE



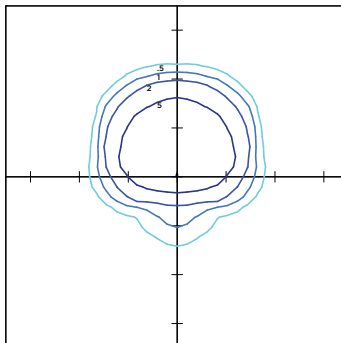
25' Mounting Height/ 25' Grid Spacing  
■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

### MRM-LED-30L-SIL-AM-40-70CRI

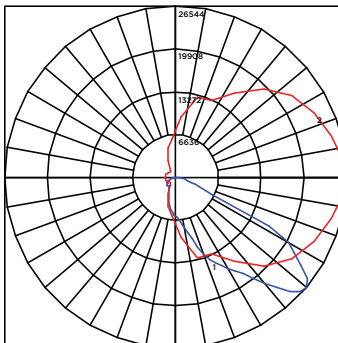
| Luminaire Data       |                       |
|----------------------|-----------------------|
| Type AM Distribution |                       |
| Description          | 4000 Kelvin, 70 CRI   |
| Delivered Lumens     | 32,960                |
| Watts                | 232                   |
| Efficacy             | 142                   |
| IES Type             | Type III - Very Short |
| BUG Rating           | B3-U0-G3              |

| Zonal Lumen Summary |              |             |
|---------------------|--------------|-------------|
| Zone                | Lumens       | % Luminaire |
| Low (0-30°)         | 6363         | 19%         |
| Medium (30-60°)     | 22026        | 67%         |
| High (60-80°)       | 4192         | 13%         |
| Very High (80-90°)  | 379          | 1%          |
| Uplight (90-180°)   | 0            | 0%          |
| <b>Total Flux</b>   | <b>32960</b> | <b>100%</b> |

ISO Footcandle



POLAR CURVE



25' Mounting Height/ 25' Grid Spacing  
■ 5 FC ■ 2 FC ■ 1 FC ■ 0.5 FC

## DESCRIPTION

Recessed 6-inch LED downlight provides narrow, medium or wide distribution patterns ideal for general area lighting. Lumen options range from 1000 to 4000 lumens in color temperatures of 2700K, 3000K, 3500K, and 4000K; in 80 or 90CRI. Luminaire is airtight and can be installed in new construction or below the finished ceiling in remodeling applications. Intended for healthcare, hospitality, office spaces, and institutional applications.

|             |                          |      |
|-------------|--------------------------|------|
| Catalog #   | HC615D010-HM612840-61MDH | Type |
| Project     | HEB                      | RD   |
| Comments    |                          | Date |
| Prepared by |                          |      |

## SPECIFICATION FEATURES

## Housing Frame

- Boat shaped galvanized steel plaster frame with adjustable plaster lip accommodates 1/2" to 1-1/2" thick ceilings
- May be installed in new construction; may be installed from below the finished (non-accessible) ceiling in remodeling (with mounting bars removed).
- Provided with (2) old work remodel clips to secure the frame to the ceiling

## Universal Mounting Bracket

- Mounting bracket adjusts 2" vertically from above the ceiling or thru the aperture
- Use with the included mounting bars or with 1/2" EMT
- Removable to facilitate installation from below the finished ceiling

## Mounting Bars

- Captive pre-installed No Fuss™ mounting bars lock to tee grid with screwdriver or pliers
- Centering mechanism allows for consistent positioning of fixtures

## LED Module

- Proximity phosphors over chip on board LEDs provide a uniform source with high efficiency and no pixilation
- Available in 80 or 90 CRI minimum, accuracy within 3 SDCM provides color uniformity
- 90 CRI option: R9>50 (refer to photometry section)
- Correlated color temperature options
  - 2700K
  - 3000K
  - 3500K
  - 4000K
- Passive thermal management achieves L70 at 50,000 hours in IC and non IC applications
- Integral diffuse lens provides visual shielding
- Integral connector allows quick connection to housing flex

## Lumen Options

- Nominal lumen values
  - 1000 lm
  - 1500 lm
  - 2000 lm
  - 3000 lm
  - 4000 lm

## Reflector

- Self-flanged aluminum reflectors are available in narrow, medium or wide distribution patterns
- Medium distribution polymer non-conductive matte white reflector may be used to meet local codes for 'dead front' applications (Non-IC, 3000 lumen max.)
- Wall wash reflector features a rotatable insert assembly with integral linear spread lens for precise alignment of vertical illumination.
- Reflector attaches to LED module with (3) speed clamps
- Multiple painted or plated finishes are available

## Reflector / Module Retention

- Reflector / module assembly is securely retained in the housing with (2) torsion springs

## Driver

- Field replaceable constant current driver provides low noise operation
- UNV 120-277VAC 50/60Hz input standard
- 347VAC 50/60Hz input option (Canada only)
- Continuous, flicker-free 1% dimming with 0-10V analog control
- Optional low voltage DC driver for use with Eaton's DLVP distributed low voltage power system combines power and control

## Emergency Option

- Provides 90 minutes of standby lighting meeting most life safety codes for egress lighting
- Available with integral or remote charge indicator and test switch

## Connected Lighting System Options

- WaveLinX tile mount daylight sensor includes control module, sensor and cable providing comprehensive lighting control
- LumaWatt Pro (powered by Enlighted) wireless tile mount sensor and control kit

## Junction Box

- Galvanized steel junction box
- 20 in<sup>3</sup> internal volume excluding voltage barrier
- 25 in<sup>3</sup> internal total volume
- Voltage divider for 0-10V dimming wires [occupies (1) 1/2" pry-out space]
- Listed for (8) #12 AWG (four in, four out) 90° C conductors and feed-thru branch wiring
- (3) 1/2" and (2) 3/4" trade size pry-outs available
- (3) 4-port push wire nuts for mains voltage, with 1-port for fixture connection

## Compliance

- cULus Listed/Classified, wet location labeled for covered ceilings
- IP20 - Above finished ceiling; IP65 - Below finished ceiling
- Non-IC rated 3000, 4000 lumen models. Insulation must be kept 3" from top and sides.
- IC rated 1000, 1500, 2000 lumen models, and suitable for direct contact to air permeable insulation
- Not for use in direct contact with spray foam insulation, consult NEMA LSD57-2013
- Airtight per ASTM-E283-04
- Suitable for use in clothes closets when installed in accordance with the NEC 410.16 spacing requirements
- EMI/RFI emissions FCC CFR Title 47 Part 15 Class A at 120/277V & Class B at 120V
- Contains no mercury or lead and RoHS compliant
- Photometric testing in accordance with IES LM-79-08
- Lumen maintenance projections in accordance with IES LM-80-08 and TM-21-11
- 1000, 1500 and 2000 lumen 90CRI ICAT models may be used to comply with State of California Title 24 residential code, with JA8-2016-E database certification
- May be used to comply with State of California Title 24 non-residential code, as a dimmable LED luminaire
- ENERGY STAR® certified, reference certified light fixtures database

## Warranty

- Five year limited warranty, consult website for details.  
[www.eaton.com/lighting/legal](http://www.eaton.com/lighting/legal)



**HC6**  
Frame

**HM6**  
LED Module

**61**  
**61PS**

Series Reflectors

**6-inch Lens Downlight**  
**and Lens Wall Wash**

**1000/1500/2000/**  
**3000/4000 Lumen**





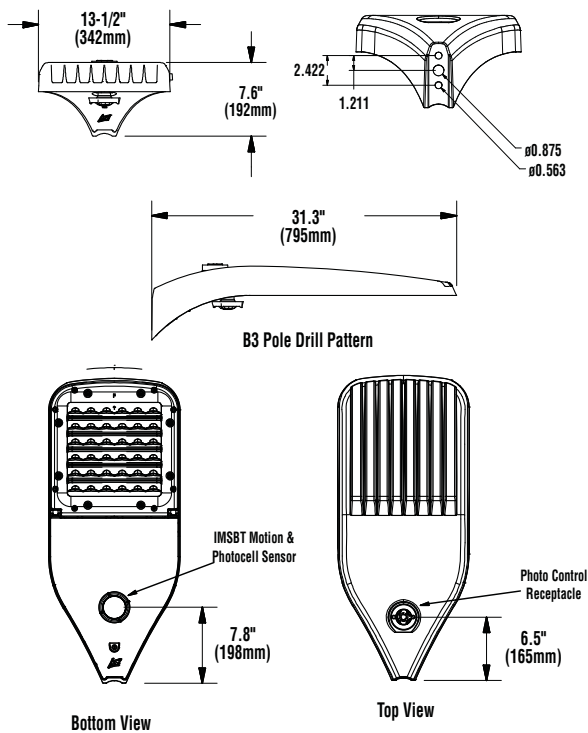
# Mirada Medium Outdoor LED Area Light







Type: \_\_\_\_\_

 Have questions? Call us at (800) 436-7800

## PRODUCT DIMENSIONS

[Back to Quick Links](#)



| LUMINAIRE EPA CHART - MRM   |        |     |     |     |   |        |     |     |     |
|---|--------|-----|-----|-----|---|--------|-----|-----|-----|
| Tilt Degree   |        | 0°  | 30° | 45° | Tilt Degree   | 0°     | 30° | 45° |     |
|  | Single | 0.5 | 1.5 | 1.9 |  | T90°   | 1.0 | 2.5 | 2.8 |
|  | D180°  | 1.0 | 1.5 | 1.9 |  | TN120° | 1.0 | 3.3 | 3.9 |
|  | D90°   | 0.8 | 1.9 | 2.3 |  | Q90°   | 1.0 | 2.5 | 2.8 |

## CONTROLS

### AirLink Wireless Lighting Controller

The AirLink integrated controller is a California Title 24 compliant lighting controller that provides real-time light monitoring and control with utility-grade power monitoring. It includes a 24V sensor input and power supply to connect a sensor into the outdoor AirLink wireless lighting system. The wireless integrated controller is compatible with this fixture.

Click the link below to learn more details about AirLink.

<https://www.lsicorp.com/wp-content/uploads/documents/products/airlink-outdoor-specsheet.pdf>

### Integral Bluetooth™ Motion and Photocell Sensor (IMSBT)

Slim low profile sensor provides multi-level control based on motion and/or daylight. Sensor controls 0-10 VDC LED drivers and is rated for cold and wet locations (-30° C to 70° C). Two unique PIR lenses are available and used based on fixture mounting height. All control parameters are adjustable via an iOS or Android App capable of storing and transmitting sensor profiles.

Click the link below to learn more details about IMSBT.

<https://www.lsicorp.com/wp-content/uploads/documents/products/imsbt-specsheet.pdf>

### AirLink Blue

Wireless Bluetooth Mesh Outdoor Lighting Control System that provides energy savings, code compliance and enhanced safety/security for parking lots and parking garages. Three key components; Bluetooth wireless radio/sensor controller, Time Keeper and an iOS App. Capable of grouping multiple fixtures and sensors as well as scheduling time-based events by zone. Radio/Sensor Controller is factory integrated into Area/Site, Wall Mounted, Parking Garage and Canopy luminaires.

Click the link below to learn more details about AirLink Blue.

<https://www.lsicorp.com/product/airlink-blue/>

## ENERGY DATA

| Series  | 1000 lumen |       |
|---|------------|-------|
| Input Voltage (VAC)                                     | 120V       | 277V  |
| Input Current (A)                                       | 0.085      | 0.042 |
| Input Power (W)   | 10.1       | 10.9  |
| In-rush Current (A)                                     | 0.644      | 1.95  |
| In-rush Duration (ms)                                   | 0.125      | 0.24  |
| THDi (%)  | 8.6        | 15.6  |
| PF:   | ≥ 0.90     |       |
| (Nominal input 120-277VAC & 100% of rated output power) |            |       |
| Minimum starting temperature -40°C (-40°F)              |            |       |
| Sound Rating: Class A standards                         |            |       |

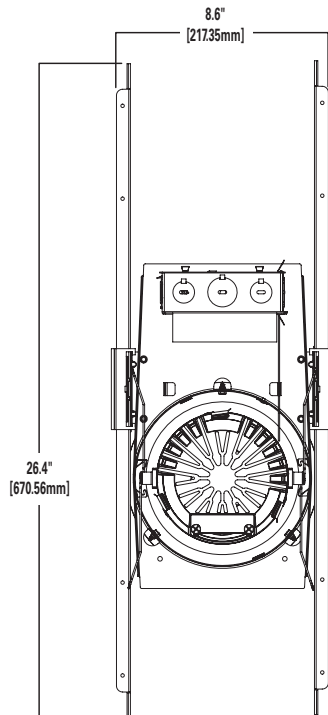
| Series  | 1500 lumen |       |
|---|------------|-------|
| Input Voltage (VAC)                                     | 120V       | 277V  |
| Input Current (A)                                       | 0.119      | 0.055 |
| Input Power (W)   | 14.2       | 14.9  |
| In-rush Current (A)                                     | 0.212      | 0.85  |
| In-rush Duration (ms)                                   | 0.28       | 0.32  |
| THDi (%)  | 7.8        | 16.3  |
| PF:   | ≥ 0.90     |       |
| (Nominal input 120-277VAC & 100% of rated output power) |            |       |
| Minimum starting temperature -40°C (-40°F)              |            |       |
| Sound Rating: Class A standards                         |            |       |

| Series  | 2000 lumen |       |
|---|------------|-------|
| Input Voltage (VAC)                                     | 120V       | 277V  |
| Input Current (A)                                       | 0.176      | 0.082 |
| Input Power (W)   | 21.1       | 21.4  |
| In-rush Current (A)                                     | 0.588      | 0.624 |
| In-rush Duration (ms)                                   | 0.3        | 0.38  |
| THDi (%)  | 8.8        | 11.2  |
| PF:   | ≥ 0.90     |       |
| (Nominal input 120-277VAC & 100% of rated output power) |            |       |
| Minimum starting temperature -40°C (-40°F)              |            |       |
| Sound Rating: Class A standards                         |            |       |

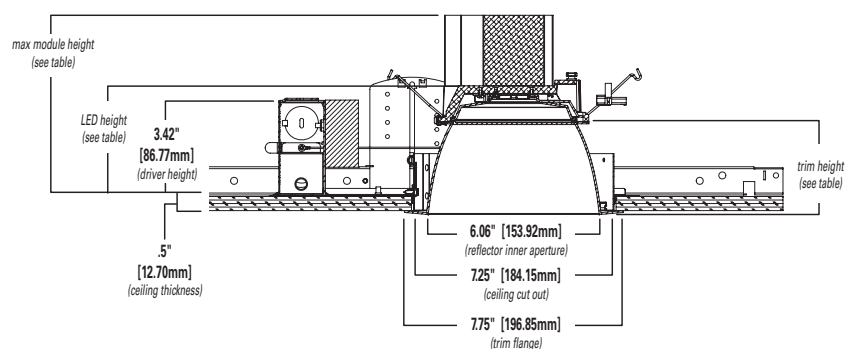
| Series  | 3000 lumen |       |
|---|------------|-------|
| Input Voltage (VAC)                                     | 120V       | 277V  |
| Input Current (A)                                       | 0.228      | 0.102 |
| Input Power (W)   | 27.2       | 27    |
| In-rush Current (A)                                     | 0.898      | 1.7   |
| In-rush Duration (ms)                                   | 0.36       | 0.38  |
| THDi (%)  | 9.7        | 9.3   |
| PF:   | ≥ 0.90     |       |
| (Nominal input 120-277VAC & 100% of rated output power) |            |       |
| Minimum starting temperature -40°C (-40°F)              |            |       |
| Sound Rating: Class A standards                         |            |       |

| Series  | 4000 lumen |       |
|---|------------|-------|
| Input Voltage (VAC)                                     | 120V       | 277V  |
| Input Current (A)                                       | 0.345      | 0.15  |
| Input Power (W)   | 41.3       | 40.7  |
| In-rush Current (A)                                     | 1.05       | 2.23  |
| In-rush Duration (ms)                                   | 0.32       | 0.34  |
| THDi (%)  | 10.06      | 14.01 |
| PF:   | ≥ 0.90     |       |
| (Nominal input 120-277VAC & 100% of rated output power) |            |       |
| Minimum starting temperature -40°C (-40°F)              |            |       |
| Sound Rating: Class A standards                         |            |       |

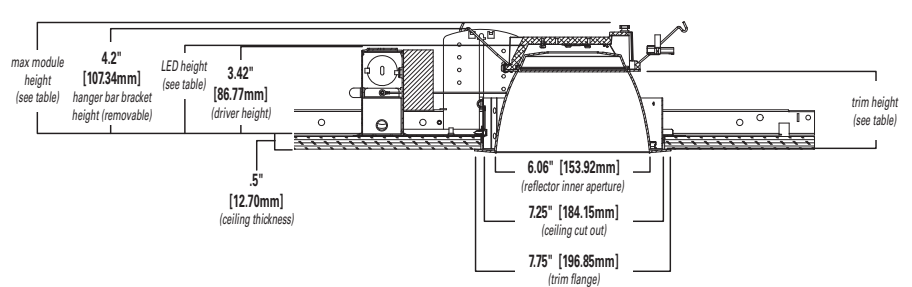
## DIMENSIONS



NEW CONSTRUCTION - HIGH LUMEN  
3000 AND 4000 LUMEN



NEW CONSTRUCTION - LOW LUMEN  
1000, 1500, AND 2000 LUMENS



High Lumen (3000 & 4000 Lumens)

| Distribution | Max. Module Height | Trim Height | LED Height |
|--------------|--------------------|-------------|------------|
| Narrow       | 6.6"               | 3.4"        | 3.8"       |
| Medium       | 6.7"               | 3.5"        | 3.9"       |
| Wide         | 6.5"               | 3.3"        | 3.7"       |
| Baffle       | 6.5"               | 3.3"        | 3.7"       |

Low Lumen (1000, 1500 & 2000 Lumens)\*

| Distribution | Max. Module Height | Trim Height | LED Height |
|--------------|--------------------|-------------|------------|
| Narrow       | 4.5"               | 3.4"        | 3.8"       |
| Medium       | 4.6"               | 3.5"        | 3.9"       |
| Wide         | 4.4"               | 3.3"        | 3.7"       |
| Baffle       | 4.4"               | 3.3"        | 3.7"       |

\*Max. height w/hanger bar bracket 4.2"

## Ordering Information

**Sample Number:** HC620D010REM7 – HM612835 - 61MDC

A complete luminaire consists of a housing frame, LED module, and reflector (ordered separately)

| Mounting Frame  | Lumens  | Input / Control  | Options   | Accessories   |
|---|---|--|---|---|
| <b>HC6</b> = 6" new construction and remodeler housing                              | <b>10</b> = 1000 lumens (nominal)<br><b>15</b> = 1500 lumens (nominal)<br><b>20</b> = 2000 lumens (nominal)<br><b>30</b> = 3000 lumens (nominal)<br><b>40</b> = 4000 lumens (nominal) | <b>D010</b> = 120-277VAC 50/60Hz 0-10V analog 1%-100% dimming<br><b>D010347</b> = 347VAC 50/60Hz 0-10V analog 1%-100% dimming (Canada only) <sup>1</sup>   | <b>REM7</b> = 7 watt emergency module with remote test / indicator light, use with D010 only <sup>1</sup><br><b>REM14</b> = 14 watt emergency module with remote test / indicator light, use with D010 only <sup>1</sup><br><b>IEM7</b> = integral 7 watt emergency module with integral test / indicator light, use with D010 only <sup>1</sup><br><b>IEM14</b> = integral 14 watt emergency module with integral test / indicator light, use with D010 only <sup>1</sup><br><b>LWTPD1</b> = factory installed LumaWatt Pro wireless tile mount sensor kit, use with D010 only <sup>1</sup><br><b>SWPD1</b> = factory installed WaveLinX tile mount daylight sensor, includes control module, sensor, and cable, use with D010 only <sup>1</sup> | <b>HB128APK</b> = L channel hanger bar, 26", pair (replacement)<br><b>RMB22</b> = Adjustable wood joist mounting bars, pair, extend to 22" long<br><b>H347</b> = 347 to 120V step down transformer, 75VA<br><b>H347200</b> = 347 to 120V step down transformer, 200VA<br><b>PORLWTPD1</b> = Field installed LumaWatt Pro wireless sensor kit, use with D010 only <sup>1</sup><br><b>TMSWPD1</b> = Field installed WaveLinX wireless sensor kit, use with D010 only <sup>1</sup> |
| <b>HC6CP</b> = 6" new construction and remodeler housing, CCEA Chicago Plenum rated |   | <b>DLV</b> = Distributed Low Voltage driver, 1%-100% dimming DLV for use with Eaton's DLVP system only. Refer to DLVP low-voltage power module and DLVP specifications for details. <sup>1</sup> | <b>REM7</b> = 7 watt emergency module with remote test / indicator light, use with DLV only <sup>1, 2</sup><br><b>REM14</b> = 14 watt emergency module with remote test / indicator light, use with DLV only <sup>1, 2</sup><br><b>IEM7</b> = integral 7 watt emergency module with integral test / indicator light, use with DLV only <sup>1, 2</sup><br><b>IEMV14</b> = integral 14 watt emergency module with integral test / indicator light, use with DLV only <sup>1, 2</sup>   |   |

| LED Module                 | Lumens   | CRI/CCT  |
|----------------------------|--|--|
| <b>HM6</b> = 6" LED module | <b>12</b> =1000, 1500 and 2000 lumens (nominal), use with HC610*, HC615*, HC620* housings<br><b>34</b> =3000 and 4000 lumens (nominal), use with HC630*, HC640* housings | <b>827</b> = 80 CRI (minimum), 2700K CCT<br><b>830</b> = 80 CRI (minimum), 3000K CCT<br><b>835</b> = 80 CRI (minimum), 3500K CCT<br><b>840</b> = 80 CRI (minimum), 4000K CCT<br><b>927</b> = 90 CRI (minimum), 2700K CCT<br><b>930</b> = 90 CRI (minimum), 3000K CCT<br><b>935</b> = 90 CRI (minimum), 3500K CCT<br><b>940</b> = 90 CRI (minimum), 4000K CCT |

| Reflector                        | Distribution <sup>3</sup>   | Finish   | Flange  | Accessories  |
|----------------------------------|---|--|---|--|
| <b>61</b> = 6" conical reflector | <b>ND</b> = narrow 55° beam angle 0.97 SC<br><b>MD</b> = medium 60° beam angle 1.10 SC<br><b>WD</b> = wide 65° beam angle 1.28 SC<br><b>RWW</b> = rotatable wall wash with linear spread lens | <b>C</b> = Specular clear<br><b>H</b> = Semi-specular clear<br><b>W</b> = White (white flange) | <b>Blank</b> = Polished flange standard with C & H reflectors<br><b>Blank</b> = White flange standard with W reflector<br><b>WF</b> = White flange option available with C & H reflectors | <b>61RWWPK</b> = rotatable wall wash insert for 6" reflector –replacement part kit |

| Baffle                          | Distribution <sup>3</sup>   | Finish   | Flange   | Accessories  |
|---------------------------------|---|--|--|--|
| <b>61</b> = 6" baffle reflector | <b>WD</b> = wide 65° beam angle 1.28 SC (nominal)<br><b>RWW</b> = rotatable wall wash with linear spread lens | <b>BB</b> = Black baffle (white flange)<br><b>WB</b> = White baffle (white flange) | <b>Blank</b> = White flange standard with BB, & WB | <b>61RWWPK</b> = rotatable wall wash insert for 6" reflector –replacement part kit |

| IEM Reflector  | Distribution <sup>3</sup>   | Finish   | Flange  | Integral Emergency                                 |
|--|---|--|---|--|
| <b>61</b> = 6" IEM reflector for integral emergency only | <b>ND</b> = narrow 55° beam angle 0.97 SC<br><b>MD</b> = medium 60° beam angle 1.10 SC<br><b>WD</b> = wide 65° beam angle 1.28 SC | <b>C</b> = Specular clear<br><b>H</b> = Semi-specular clear<br><b>W</b> = White (white flange) | <b>Blank</b> = Polished flange standard with C & H reflectors<br><b>Blank</b> = White flange standard with W reflector<br><b>WF</b> = White flange option available with C & H reflectors | <b>IEM</b> = Reflector for integral emergency only |

| IEM Baffle  | Distribution <sup>3</sup>                         | Finish   | Flange   | Integral Emergency                                 |
|---|---|--|--|--|
| <b>61</b> = 6" IEM baffle reflector for integral emergency only | <b>WD</b> = wide 65° beam angle 1.28 SC (nominal) | <b>BB</b> = Black baffle (white flange)<br><b>WB</b> = White baffle (white flange) | <b>Blank</b> = White flange standard with BB, & WB | <b>IEM</b> = Reflector for integral emergency only |

| Reflector   | Distribution <sup>3</sup>                           | Finish                          | Flange  |
|---|---|---------------------------------|---|
| <b>61PS</b> = 6" non-conductive polymer 'dead front' conical reflector <sup>4</sup> | <b>MD</b> = medium 60° beam angle 1.10 SC (nominal) | <b>W</b> = White (white flange) | <b>Blank</b> = White flange standard with W reflector |

**Notes:**

- Not available with CP version
- ULus for U.S. only
- Values are nominal, with specular clear reflector, other finishes and field results may vary.
- 61PS reflector is for Non-IC environment only, and up to 3000 lumens only.

**PHOTOMETRY**

**NARROW DISTRIBUTION - SPECULAR CLEAR FINISH, 2000 LUMEN MODEL, 80 CRI, 3500K**

| NARROW (55° BEAM*) |           | CANDLEPOWER DISTRIBUTION |      | CONE OF LIGHT |      |   |    | CANDELA TABLE    |         | ZONAL LUMEN SUMMARY |        |           | LUMINANCE               |                      |
|--------------------|-----------|--------------------------|------|---------------|------|---|----|------------------|---------|---------------------|--------|-----------|-------------------------|----------------------|
| Test Number        | P285970   |                          |      |               |      |   |    | Degrees Vertical | Candela | Zone                | Lumens | % Fixture | Average Candela Degrees | Average 0° Luminance |
| Housing            | HC620D010 |                          |      |               |      |   |    | 0                | 1962    | 0-30                | 1385   | 72.1      | 45                      | 8706                 |
| Module             | HM612835  |                          |      |               |      |   |    | 5                | 1962    | 0-40                | 1796   | 93.5      | 55                      | 1223                 |
| Reflector          | 61NDC     |                          |      |               |      |   |    | 15               | 1975    | 0-60                | 1915   | 99.7      | 65                      | 337                  |
| Lumens             | 1920 Lm   |                          |      |               |      |   |    | 25               | 1434    | 0-90                | 1920   | 100       | 75                      | 551                  |
| Efficacy           | 96 Lm/W   | 35                       | 671  | 90-180        | 0    | 0 | 85 | 0                |         |                     |        |           |                         |                      |
| SC                 | 0.97      | 45                       | 112  |               |      |   |    |                  |         |                     |        |           |                         |                      |
| UGR                | 11.7      | 55                       | 13   |               |      |   |    |                  |         |                     |        |           |                         |                      |
|                    |           | 65                       | 3    |               |      |   |    |                  |         |                     |        |           |                         |                      |
|                    |           | 75                       | 3    |               |      |   |    |                  |         |                     |        |           |                         |                      |
|                    |           | 85                       | 0    |               |      |   |    |                  |         |                     |        |           |                         |                      |
|                    |           | 90                       | 0    |               |      |   |    |                  |         |                     |        |           |                         |                      |
|                    |           | MH                       | FC   | L             | W    |   |    |                  |         |                     |        |           |                         |                      |
|                    |           | 5.5'                     | 64.9 | 5.2           | 5.2  |   |    |                  |         |                     |        |           |                         |                      |
|                    |           | 7'                       | 40   | 6.8           | 6.8  |   |    |                  |         |                     |        |           |                         |                      |
|                    |           | 8'                       | 30.7 | 7.6           | 7.6  |   |    |                  |         |                     |        |           |                         |                      |
|                    |           | 9'                       | 24.2 | 8.6           | 8.6  |   |    |                  |         |                     |        |           |                         |                      |
|                    |           | 10'                      | 19.6 | 9.6           | 9.6  |   |    |                  |         |                     |        |           |                         |                      |
|                    |           | 12'                      | 13.6 | 11.6          | 11.6 |   |    |                  |         |                     |        |           |                         |                      |

**MEDIUM DISTRIBUTION - SPECULAR CLEAR FINISH, 2000 LUMEN MODEL, 80 CRI, 3500K**

| MEDIUM (60° BEAM*) |           | CANDLEPOWER DISTRIBUTION |      | CONE OF LIGHT |      |   |    | CANDELA TABLE    |         | ZONAL LUMEN SUMMARY |        |           | LUMINANCE               |                      |
|--------------------|-----------|--------------------------|------|---------------|------|---|----|------------------|---------|---------------------|--------|-----------|-------------------------|----------------------|
| Test Number        | P286170   |                          |      |               |      |   |    | Degrees Vertical | Candela | Zone                | Lumens | % Fixture | Average Candela Degrees | Average 0° Luminance |
| Housing            | HC620D010 |                          |      |               |      |   |    | 0                | 1642    | 0-30                | 1387   | 70.8      | 45                      | 9296                 |
| Module             | HM612835  |                          |      |               |      |   |    | 5                | 1660    | 0-40                | 1821   | 93        | 55                      | 1462                 |
| Reflector          | 61MDC     |                          |      |               |      |   |    | 15               | 1854    | 0-60                | 1951   | 99.6      | 65                      | 662                  |
| Lumens             | 1959 Lm   |                          |      |               |      |   |    | 25               | 1576    | 0-90                | 1959   | 100       | 75                      | 551                  |
| Efficacy           | 97.9 Lm/W | 35                       | 699  | 90-180        | 0    | 0 | 85 | 0                |         |                     |        |           |                         |                      |
| SC                 | 1.10      | 45                       | 120  |               |      |   |    |                  |         |                     |        |           |                         |                      |
| UGR                | 11.8      | 55                       | 15   |               |      |   |    |                  |         |                     |        |           |                         |                      |
|                    |           | 65                       | 5    |               |      |   |    |                  |         |                     |        |           |                         |                      |
|                    |           | 75                       | 3    |               |      |   |    |                  |         |                     |        |           |                         |                      |
|                    |           | 85                       | 0    |               |      |   |    |                  |         |                     |        |           |                         |                      |
|                    |           | 90                       | 0    |               |      |   |    |                  |         |                     |        |           |                         |                      |
|                    |           | MH                       | FC   | L             | W    |   |    |                  |         |                     |        |           |                         |                      |
|                    |           | 5.5'                     | 55.2 | 5.8           | 5.8  |   |    |                  |         |                     |        |           |                         |                      |
|                    |           | 7'                       | 34.1 | 7.6           | 7.6  |   |    |                  |         |                     |        |           |                         |                      |
|                    |           | 8'                       | 26.1 | 8.6           | 8.6  |   |    |                  |         |                     |        |           |                         |                      |
|                    |           | 9'                       | 20.6 | 9.6           | 9.6  |   |    |                  |         |                     |        |           |                         |                      |
|                    |           | 10'                      | 16.7 | 10.8          | 10.8 |   |    |                  |         |                     |        |           |                         |                      |
|                    |           | 12'                      | 11.6 | 13            | 13   |   |    |                  |         |                     |        |           |                         |                      |

**WIDE DISTRIBUTION - SPECULAR CLEAR FINISH, 2000 LUMEN MODEL, 80 CRI, 3500K**

| WIDE (65° BEAM*) |            | CANDLEPOWER DISTRIBUTION |      | CONE OF LIGHT |      |   |    | CANDELA TABLE    |         | ZONAL LUMEN SUMMARY |        |           | LUMINANCE               |                      |
|------------------|------------|--------------------------|------|---------------|------|---|----|------------------|---------|---------------------|--------|-----------|-------------------------|----------------------|
| Test Number      | P286370    |                          |      |               |      |   |    | Degrees Vertical | Candela | Zone                | Lumens | % Fixture | Average Candela Degrees | Average 0° Luminance |
| Housing          | HC620D010  |                          |      |               |      |   |    | 0                | 1341    | 0-30                | 1282   | 62.7      | 45                      | 15614                |
| Module           | HM612835   |                          |      |               |      |   |    | 5                | 1349    | 0-40                | 1835   | 89.7      | 55                      | 2676                 |
| Reflector        | 61WDC      |                          |      |               |      |   |    | 15               | 1466    | 0-60                | 2037   | 99.6      | 65                      | 662                  |
| Lumens           | 2045 Lm    |                          |      |               |      |   |    | 25               | 1642    | 0-90                | 2045   | 100       | 75                      | 530                  |
| Efficacy         | 102.3 Lm/W | 35                       | 877  | 90-180        | 0    | 0 | 85 | 0                |         |                     |        |           |                         |                      |
| SC               | 1.28       | 45                       | 201  |               |      |   |    |                  |         |                     |        |           |                         |                      |
| UGR              | 11.6       | 55                       | 28   |               |      |   |    |                  |         |                     |        |           |                         |                      |
|                  |            | 65                       | 5    |               |      |   |    |                  |         |                     |        |           |                         |                      |
|                  |            | 75                       | 2    |               |      |   |    |                  |         |                     |        |           |                         |                      |
|                  |            | 85                       | 0    |               |      |   |    |                  |         |                     |        |           |                         |                      |
|                  |            | 90                       | 0    |               |      |   |    |                  |         |                     |        |           |                         |                      |
|                  |            | MH                       | FC   | L             | W    |   |    |                  |         |                     |        |           |                         |                      |
|                  |            | 5.5'                     | 44.3 | 7             | 7    |   |    |                  |         |                     |        |           |                         |                      |
|                  |            | 7'                       | 27.4 | 8.8           | 8.8  |   |    |                  |         |                     |        |           |                         |                      |
|                  |            | 8'                       | 21   | 10.2          | 10.2 |   |    |                  |         |                     |        |           |                         |                      |
|                  |            | 9'                       | 16.6 | 11.4          | 11.4 |   |    |                  |         |                     |        |           |                         |                      |
|                  |            | 10'                      | 13.4 | 12.6          | 12.6 |   |    |                  |         |                     |        |           |                         |                      |
|                  |            | 12'                      | 9.3  | 15.2          | 15.2 |   |    |                  |         |                     |        |           |                         |                      |

\*Value are nominal with specular clear reflectors, other finishes and field results may vary.  
SC = Spacing Criteria  
UGR = Unified Glare Rating

**Photometric Multipliers (nominal lumen values)**

| 1000 Lumen | 1500 Lumen | 2000 Lumen | 3000 Lumen | 4000 Lumen |
|------------|------------|------------|------------|------------|
| 0.52       | 0.72       | 1.00       | 1.44       | 2.02       |

Multipliers for relative lumen values with other series models.

**CCT Multipliers – 80CRI**

| 2700K | 3000K | 3500K | 4000K |
|-------|-------|-------|-------|
| 0.93  | 0.95  | 1.00  | 1.05  |

Multipliers for relative lumen values with other series color temperatures.

**Color Finish Multipliers**

| Finish code | C              | H             | W/WB                        | BB           |
|-------------|----------------|---------------|-----------------------------|--------------|
| Finish      | Specular Clear | Semi-Specular | Matte White<br>White Baffle | Black Baffle |
| Multiplier  | 1.00           | 0.91          | 0.92                        | 0.84         |

Multipliers for relative lumen values with other color finishes.

**CCT Multipliers – 90CRI**

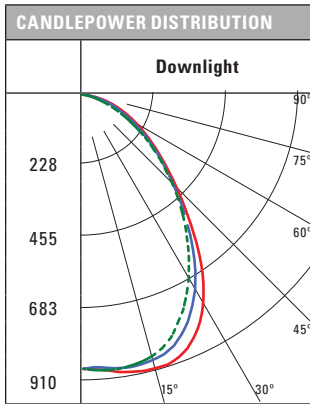
| 2700K | 3000K | 3500K | 4000K |
|-------|-------|-------|-------|
| 0.75  | 0.82  | 0.90  | 0.89  |

Multipliers for relative lumen values with other series color temperatures.

## PHOTOMETRY

### WALL WASH DISTRIBUTION - SPECULAR CLEAR FINISH, 2000 LUMEN MODEL, 80 CRI, 3500K

| WALL WASH   |           |
|-------------|-----------|
| Test Number | P286650   |
| Housing     | HC620D010 |
| Module      | HM612835  |
| Reflector   | 61RWWC    |
| Lumens      | 1798 Lm   |
| Efficacy    | 89.9 Lm/W |
| SC          | 1.23      |



| CANDELA TABLE    |         |
|------------------|---------|
| Degrees Vertical | Candela |
| 0                | 882     |
| 5                | 890     |
| 15               | 910     |
| 25               | 854     |
| 35               | 665     |
| 45               | 431     |
| 55               | 270     |
| 65               | 161     |
| 75               | 74      |
| 85               | 10      |
| 90               | 0       |

| ZONAL LUMEN SUMMARY |        |           |
|---------------------|--------|-----------|
| Zone                | Lumens | % Fixture |
| 0-30                | 696    | 38.7      |
| 0-40                | 1079   | 60        |
| 0-60                | 1629   | 90.6      |
| 0-90                | 1798   | 100       |
| 90-180              | 0      | 0         |
| 0-180               | 1798   | 100       |

| LUMINANCE               |                      |
|-------------------------|----------------------|
| Average Candela Degrees | Average 0° Luminance |
| 45                      | 33399                |
| 55                      | 25825                |
| 65                      | 20832                |
| 75                      | 15653                |
| 85                      | 6416                 |

SC = Spacing Criteria, nominal for specular clear reflector, other finishes and field results may vary.

| SINGLE UNIT FOOTCANDLES                              |      |      |      |     |     |     |     |
|--|------|------|------|-----|-----|-----|-----|
| 2.5' from wall<br>(distance from fixture along wall) |      |      |      |     |     |     |     |
| 1  | 16.8 | 12   | 5.4  | 2   | 0.7 | 0.2 | 0.1 |
| 2  | 24.7 | 19.2 | 10.5 | 4.9 | 2.2 | 1   | 0.5 |
| 3  | 22.8 | 18.6 | 11.4 | 6.2 | 3.2 | 1.7 | 0.9 |
| 4  | 17.5 | 15   | 10.3 | 6.2 | 3.6 | 2   | 1.2 |
| 5  | 11.9 | 10.7 | 8.2  | 5.5 | 3.4 | 2.1 | 1.3 |
| 6  | 8    | 7.4  | 6.1  | 4.5 | 3.1 | 2   | 1.3 |
| 7  | 5.5  | 5.2  | 4.5  | 3.6 | 2.6 | 1.9 | 1.3 |
| 8  | 3.9  | 3.7  | 3.3  | 2.8 | 2.2 | 1.6 | 1.2 |
| 9  | 2.8  | 2.7  | 2.5  | 2.2 | 1.8 | 1.4 | 1.1 |
| 10   | 2.1  | 2    | 1.9  | 1.7 | 1.5 | 1.2 | 0.9 |

| MULTIPLE UNIT FOOTCANDLES                            |      |      |  |      |      |  |      |      |      |
|--|------|------|--|------|------|--|------|------|------|
| 2.5' from wall<br>(distance from fixture along wall) |      |      | 2.5' from wall<br>(distance from fixture along wall) |      |      | 2.5' from wall<br>(distance from fixture along wall) |      |      |      |
| 1  | 18.8 | 16.6 | 18.8   | 17.5 | 10.7 | 17.5   | 26.8 | 20.9 | 26.8 |
| 2  | 29.5 | 29.2 | 29.5   | 26   | 22.9 | 26   | 21   | 20.5 | 21   |
| 3  | 29   | 29.8 | 29   | 15.4 | 16.3 | 15.4   | 11.1 | 12.2 | 11.1 |
| 4  | 23.7 | 25.3 | 23.7   | 8.1  | 9    | 8.1  | 6.1  | 6.7  | 6.1  |
| 5  | 17.4 | 19.2 | 17.4   | 4.6  | 5    | 4.6  | 3.5  | 3.8  | 3.5  |
| 6  | 12.5 | 13.7 | 12.5   |      |      |  |      |      |      |
| 7  | 9.1  | 9.8  | 9.1  |      |      |  |      |      |      |
| 8  | 6.7  | 7.1  | 6.7  |      |      |  |      |      |      |
| 9  | 5    | 5.3  | 5  |      |      |  |      |      |      |
| 10   | 3.8  | 4    | 3.8  |      |      |  |      |      |      |

#### Photometric Multipliers (nominal lumen values)

| 1000 Lumen | 1500 Lumen | 2000 Lumen | 3000 Lumen | 4000 Lumen |
|------------|------------|------------|------------|------------|
| 0.52       | 0.72       | 1.00       | 1.44       | 2.02       |

Multipliers for relative lumen values with other series models.

#### Color Finish Multipliers

| Finish code | C              | H             | W/WB                     | BB           |
|-------------|----------------|---------------|--------------------------|--------------|
| Finish      | Specular Clear | Semi-Specular | Matte White White Baffle | Black Baffle |
| Multiplier  | 1.00           | 0.91          | 0.92                     | 0.84         |

Multipliers for relative lumen values with other color finishes.

#### CCT Multipliers – 80CRI

| 2700K | 3000K | 3500K | 4000K |
|-------|-------|-------|-------|
| 0.93  | 0.95  | 1.00  | 1.05  |

Multipliers for relative lumen values with other series color temperatures.

#### CCT Multipliers – 90CRI

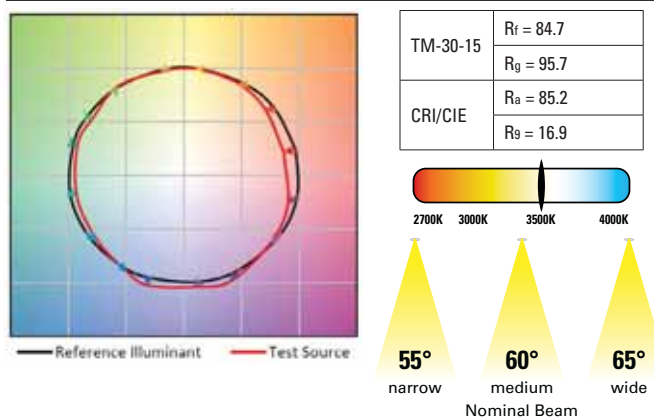
| 2700K | 3000K | 3500K | 4000K |
|-------|-------|-------|-------|
| 0.75  | 0.82  | 0.90  | 0.89  |

Multipliers for relative lumen values with other series color temperatures.

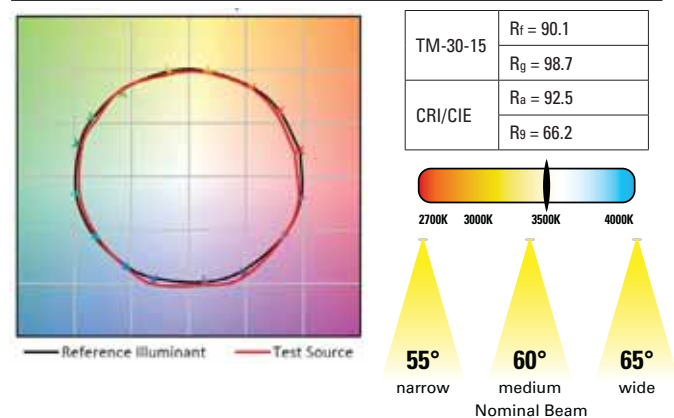
## COLOR METRICS

### TM-30-15 & CRI/CIE (3500K)

#### 80 CRI Color Metric Summary - 3500K\*



#### 90 CRI Color Metric Summary - 3500K\*



## DESCRIPTION

The Lumark Axcent LED wall mount luminaire provides a flush-mounted, architectural design with high performing, energy-efficient illumination resulting in up to 95% energy and maintenance savings over traditional sources. The die-cast aluminum construction along with stainless steel hardware, gasketed housing, and sealed optical compartment make the Axcent impervious to contaminants. The Axcent replaces 70W to 450W metal halide equivalents making it ideal for pathway illumination, building entrances, vehicle ramps, schools, tunnels, stairways, loading docks and floodlighting applications.

## SPECIFICATION FEATURES

**Construction**

Low-profile LED design with rugged die-cast aluminum housing. Matching housing styles incorporate both a full cutoff and refractive lens design. External fin design on the back of the fixture extracts heat from the surface resulting in a thermally optimize design for longer luminaire life. One-piece silicone gasket seals the fixture, keeping out moisture and dusts in compliance with IP66 rating. The fixture is 3G vibration rated (ANSI C136.31) and UL/cUL listed ensuring reliability and durability in wall mount applications.

**Optical**

Silicone-sealed optical LED chamber incorporates a custom engineered reflector providing high-efficiency illumination. Refractive lens models incorporate a molded lens assembly designed for maximum forward throw. Optional glare free lens is available for visual comfort at reduced lumen values. Available in Type IV distribution with lumen packages ranging from 1,800 to 17,300 nominal lumens. Light engine configurations consist of high-efficiency, discrete LEDs mounted to metal-core circuit boards to maximize heat

dissipation and promote long life. Offered in standard 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 5000K CCT / 70CRI min and 3000K / 80CRI min are available.

**Electrical**

LED driver is mounted to the die-cast aluminum housing for optimal heat sinking. Integral LED electronic driver incorporates 6kV surge protection. Class 1 electronic drivers have a power factor >90% and THD<20%. 120-277V 50/60Hz standard operation with optional 347V 60Hz or 480V 60Hz options available. 480V is compatible for use with 480V Wye systems only. 0-10V dimming driver is standard with leads external to the fixture to accommodate controls capability such a dimming and occupancy. 10kV/10kA surge protection option is available.

**Mounting**

Steel wedge mounting plate fits directly to 4" standard j-box or directly to wall with the "Hook-N-Lock" mechanism for quick installation. Secure with two captive, corrosion resistant, stainless steel set screws, which are concealed but accessible from bottom of fixture. Optional floodlight kits available in slipfitter,

|             |        |       |
|-------------|--------|-------|
| Catalog #   | AXCL6A | Type  |
| Project     | HEB    | X5/X6 |
| Comments    |        | Date  |
| Prepared by |        |       |

knuckle and trunion mount configurations. Optional pole mount configuration provides a quick-mount solution to round and square poles. The easy installation arm accommodates multiple drill patterns ranging from 1-1/2" to 4-7/8".

**Emergency Egress**

Optional integral cold weather battery emergency egress includes emergency operation test switch, an AC-ON indicator light and a premium, maintenance-free battery pack. The separate emergency lighting LEDs are wired to provided redundant emergency lighting. Listed to UL Standard 924, Emergency Lighting.

**Finish**

The Axcent is protected with five state super TGIC polyester powder coat paint in carbon bronze and five other color finishes. Super TGIC power coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

**Warranty**

Five-year warranty.



## AXCS / AXCL AXCENT

14-123W  
LED

APPLICATIONS:  
WALL / SURFACE / INVERTED  
FLOODLIGHTING / PATHWAY /  
SITE LIGHTING

**CERTIFICATION DATA**

3G Vibration Rated  
DesignLights Consortium® Qualified\*  
FCC Class A  
IP66 Rated  
ISO9001, UL/cUL Wet Location Listed  
LM79/LM80 Compliant  
ROHS Compliant  
Title 24 Compliant  
UL924 Listed (CBP Models)

**TECHNICAL DATA**

-40°C Minimum Ambient Temperature  
+40°C Maximum Ambient Temperature  
External Supply Wiring 90°C Minimum

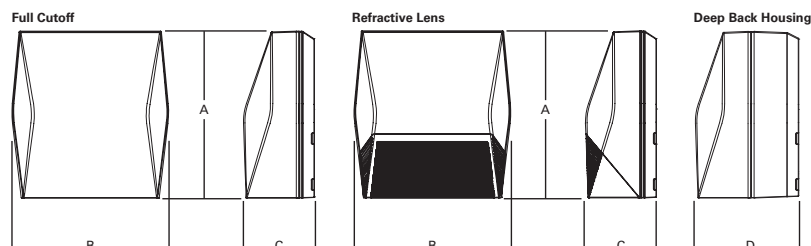
**SHIPPING DATA:**

**Approximate Net Weight:**  
Small fixture=5 lbs. [2.36 kgs.]  
Small with sensor or CBP=10 lbs. [4.40 kgs.]  
Large fixture=12 lbs. [5.45 kgs.]  
Large with sensor or CBP=17 lbs. [7.73 kgs.]  
Large with sensor & CBP=21 lbs. [9.54 kgs.]



TD514036EN  
September 25, 2019 8:03 AM

## DIMENSIONS

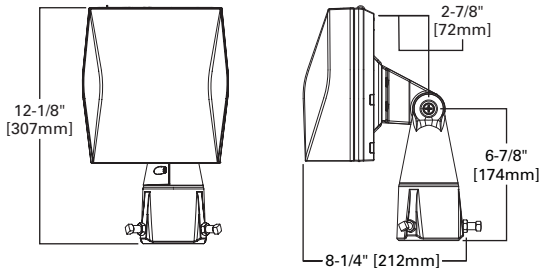


## Dimensional Data

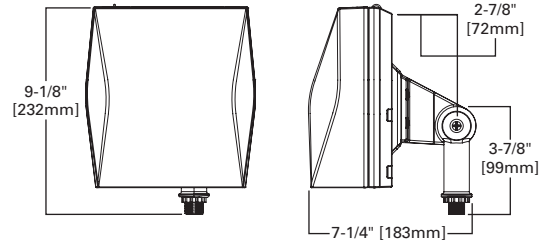
|   | AXCS Small     | AXCL Large      |
|---|----------------|-----------------|
| A | 8" [202mm]     | 11-1/2" [292mm] |
| B | 7-1/2" [190mm] | 10-3/4" [273mm] |
| C | 3-5/8" [94mm]  | 4-7/8" [124mm]  |
| D | 6-1/8" [155mm] | 7-1/8" [181mm]  |

**MOUNTING OPTIONS**

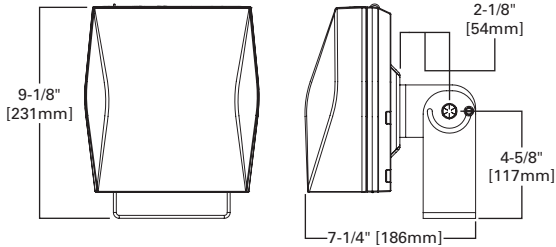
**Slipfitter Mount (Small)**  
Tenon OD: 2-3/8" | EPA: 0.60



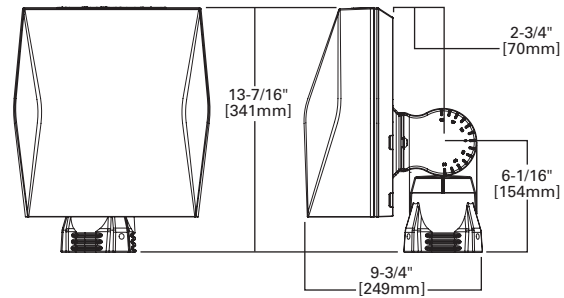
**Knuckle Mount (Small)**



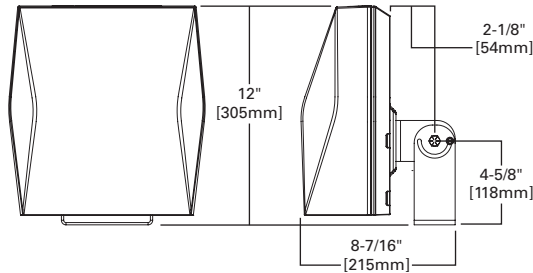
**Trunnion Mount (Small)**



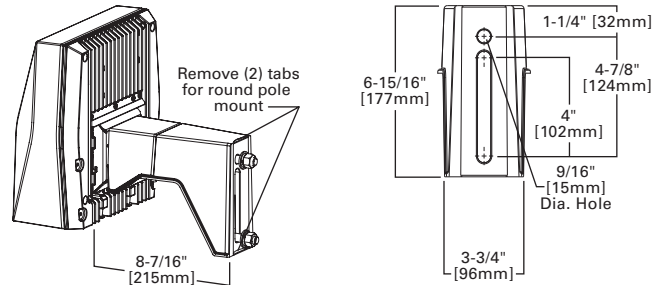
**Slipfitter Mount (Large)**  
Tenon OD: 2-3/8" to 2-7/8" | EPA: 1.10



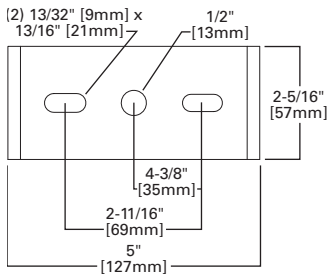
**Trunnion Mount (Large)**



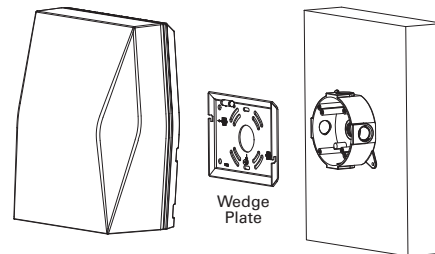
**Pole Mount Arm (Shown with Large fixture) Drill Pattern**  
EPA: 1.1



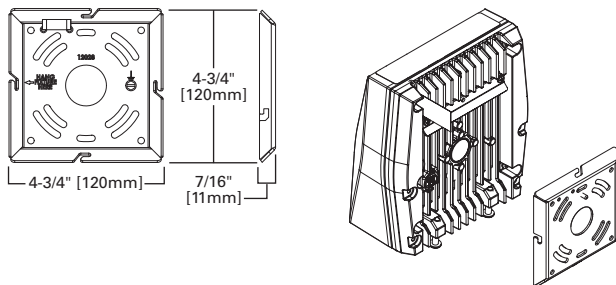
**Trunnion Mount Detail**



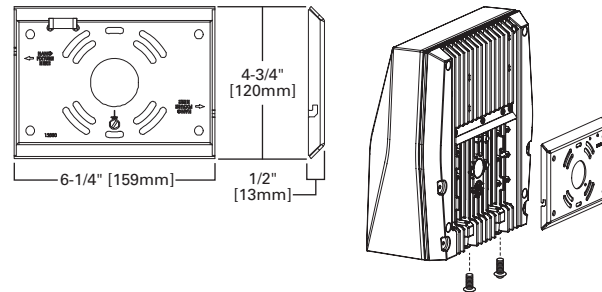
**Through-branch Wiring** (Available through rated junction box - supplied by others)



**Wall Mount Plate Detail (Small)**

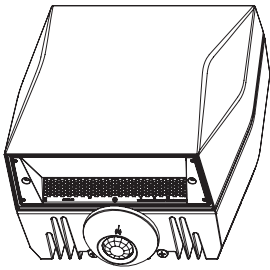


**Wall Mount Plate Detail (Large)**

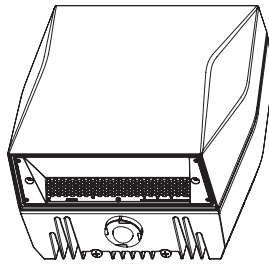


**CONTROL OPTIONS**

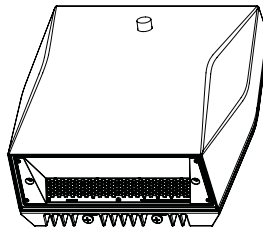
**LumaWatt Pro Sensor**



**Occupancy Sensor**

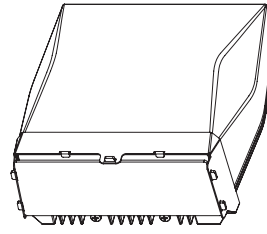


**Button Photocontrol**

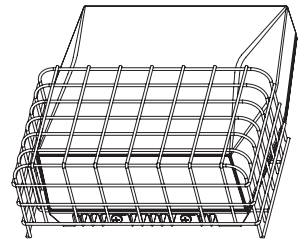


**VANDAL SHIELD AND WIRE GUARD OPTIONS**

**Vandal Shield**



**Wire Guard**



**CONTROL OPTIONS**

**0-10V**

This fixture is offered standard with 0-10V dimming driver(s) for use with a lighting control panel or other control method.

**Photocontrol (PC1, PC2, and PC)**

Optional button-type photocontrol provides a flexible solution to enable “dusk-to-dawn” lighting by sensing light levels.

**After Hours Dim (AHD)**

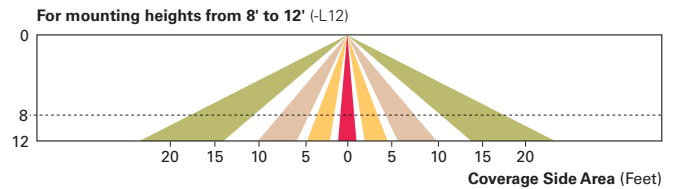
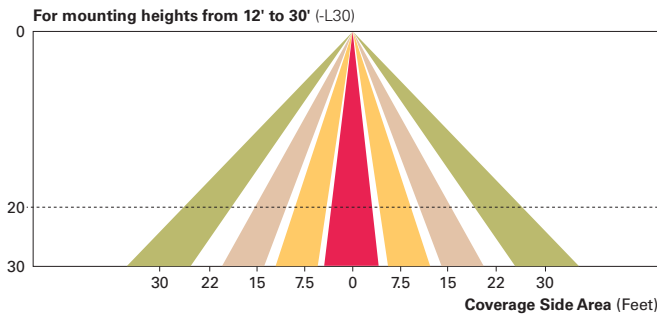
This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a “dusk-to-dawn” period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-shipped dimming solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.

**Dimming Occupancy Sensor (MSP/DIM-LXX and MSP-LXX)**

These sensors are factory installed in the luminaire housing. When the MSP/DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MSP/DIM sensor is factory preset to dim down to approximately 50 percent power with a time delay of five minutes. The MSP-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity.

These occupancy sensors includes an integrated photocell that can be activated with the ISHH-01 accessory for “dusk-to-dawn” control or daylight harvesting - the factory preset is OFF. The ISHH-01 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters.

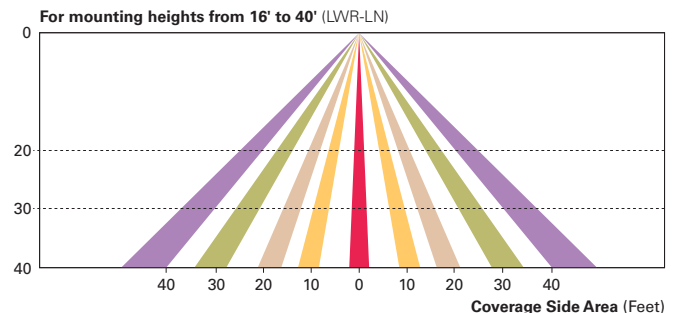
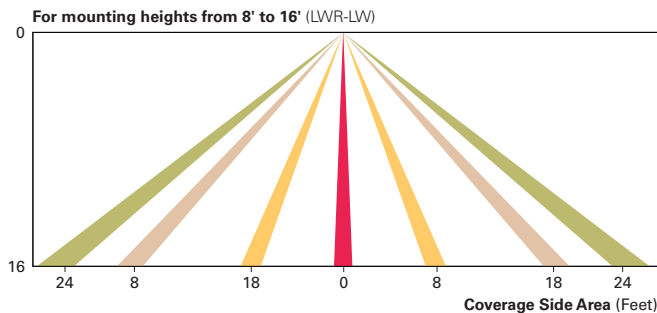
A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8’-30’.



**LumaWatt Pro Wireless Control and Monitoring System (LWR-LW and LWR-LN)**

The LumaWatt Pro system is a peer-to-peer wireless network of luminaire-integral sensors for any sized project. Each sensor is capable of motion and photo sensing, metering power consumption and wireless communication. The end-user can securely create and manage sensor profiles with browser-based management software. The software will automatically broadcast to the sensors via wireless gateways for zone-based and individual luminaire control. The LumaWatt Pro software provides smart building solutions by utilizing the sensor to provide easy-to-use dashboard and analytic capabilities such as improved energy savings, traffic flow analysis, building management software integration and more.

For additional details, refer to the LumaWatt Pro product guides.





**POWER AND LUMENS (AXCENT SMALL)**

| Light Engine             |                    | AXCS1A   | AXCS2A   | AXCS3A   | AXCS4A   | AXCS5A   |
|--------------------------|--------------------|----------|----------|----------|----------|----------|
| Power (Watts)            |                    | 14       | 21       | 27       | 44       | 52       |
| Input Current @ 120V (A) |                    | 0.12     | 0.18     | 0.23     | 0.37     | 0.43     |
| Input Current @ 240V (A) |                    | 0.06     | 0.09     | 0.11     | 0.18     | 0.22     |
| Input Current @ 277V (A) |                    | 0.05     | 0.08     | 0.10     | 0.16     | 0.19     |
| Input Current @ 347V (A) |                    | 0.04     | 0.06     | 0.08     | 0.13     | 0.15     |
| Input Current @ 480V (A) |                    | 0.03     | 0.04     | 0.06     | 0.09     | 0.11     |
| <b>Configuration</b>     |                    |          |          |          |          |          |
| Full Cutoff              | 4000K/5000K Lumens | 1,806    | 2,561    | 3,537    | 5,520    | 6,300    |
|                          | 3000K Lumens       | 1,526    | 2,164    | 2,989    | 4,665    | 5,324    |
|                          | BUG Rating         | B1-U0-G0 | B1-U0-G0 | B1-U0-G0 | B2-U0-G1 | B2-U0-G1 |
| Refractive Lens          | 4000K/5000K Lumens | 1,915    | 2,716    | 3,704    | 5,858    | 6,699    |
|                          | 3000K Lumens       | 1,618    | 2,295    | 3,130    | 4,950    | 5,661    |
|                          | BUG Rating         | B1-U3-G2 | B1-U3-G2 | B1-U3-G2 | B1-U4-G3 | B1-U4-G3 |

**LUMEN MAINTENANCE (AXCENT SMALL)**

| Ambient Temperature | TM-21 Lumen Maintenance (72,000 Hours) | Theoretical L70 (72,000 Hours) |
|---------------------|--|--------------------------------|
| <b>Up to 3A</b>     |  |                                |
| 25°C                | 90%                                    | 246,000                        |
| 40°C                | 90%                                    | 225,000                        |
| 50°C                | 89%                                    | 195,000                        |
| <b>Up to 5A</b>     |  |                                |
| 25°C                | 89%                                    | 240,000                        |
| 40°C                | 88%                                    | 223,000                        |
| 50°C                | 87%                                    | 186,000                        |

**POWER AND LUMENS (AXCENT LARGE)**

| Light Engine             |              | AXCL6A   | AXCL8A   | AXCL10A  | AXCL12A  |
|--------------------------|--------------|----------|----------|----------|----------|
| Power (Watts)            |              | 56       | 72       | 102      | 123      |
| Input Current @ 120V (A) |              | 0.44     | 0.60     | 0.83     | 1.01     |
| Input Current @ 240V (A) |              | 0.22     | 0.31     | 0.41     | 0.51     |
| Input Current @ 277V (A) |              | 0.20     | 0.27     | 0.36     | 0.45     |
| Input Current @ 347V (A) |              | 0.17     | 0.22     | 0.30     | 0.37     |
| Input Current @ 480V (A) |              | 0.13     | 0.16     | 0.22     | 0.27     |
| <b>Configuration</b>     |              |          |          |          |          |
| Full Cutoff              | 4000K Lumens | 7,594    | 9,696    | 13,283   | 16,823   |
|                          | 5000K Rating | 7,465    | 9,531    | 13,058   | 16,538   |
|                          | 3000K Lumens | 6,619    | 8,450    | 11,577   | 14,662   |
|                          | BUG Rating   | B1-U0-G1 | B1-U0-G1 | B3-U0-G2 | B3-U0-G2 |
| Refractive Lens          | 4000K Lumens | 7,809    | 9,970    | 13,641   | 17,346   |
|                          | 5000K Rating | 7,689    | 9,817    | 13,450   | 17,034   |
|                          | 3000K Lumens | 6,817    | 8,704    | 11,924   | 15,102   |
|                          | BUG Rating   | B1-U4-G4 | B2-U5-G5 | B2-U5-G5 | B2-U5-G5 |

**LUMEN MAINTENANCE (AXCENT LARGE)**

| Ambient Temperature | TM-21 Lumen Maintenance (72,000 Hours) | Theoretical L70 (72,000 Hours) |
|---------------------|--|--------------------------------|
| <b>Up to 8A</b>     |  |                                |
| 25°C                | 94%                                    | 556,000                        |
| 40°C                | 94%                                    | 556,000                        |
| 50°C                | 92%                                    | 340,000                        |
| <b>Up to 10A</b>    |  |                                |
| 25°C                | 94%                                    | 556,000                        |
| 40°C                | 94%                                    | 478,000                        |
| 50°C                | 87%                                    | 207,000                        |
| <b>Up to 12A</b>    |  |                                |
| 25°C                | 94%                                    | 151,000                        |
| 40°C                | 81%                                    | 125,000                        |

**LUMEN MULTIPLIER**

| Ambient Temperature | Lumen Multiplier |
|---------------------|------------------|
| 10°C                | 1.02             |
| 15°C                | 1.01             |
| 25°C                | 1.00             |
| 40°C                | 0.97             |

**POWER AND LUMENS (SMALL + CBP)**

| Light Engine             |                    | AXCS1A | AXCS2A | AXCS3A | AXCS4A |
|--------------------------|--------------------|--------|--------|--------|--------|
| Power (Watts)            |                    | 18     | 25     | 31     | 48     |
| Input Current @ 120V (A) |                    | 0.15   | 0.21   | 0.26   | 0.40   |
| Input Current @ 240V (A) |                    | 0.08   | 0.11   | 0.13   | 0.20   |
| Input Current @ 277V (A) |                    | 0.07   | 0.09   | 0.11   | 0.18   |
| <b>Configuration</b>     |                    |        |        |        |        |
| Full Cutoff              | 4000K/5000K Lumens | 629    | 587    | 647    | 570    |
|                          | 3000K Lumens       | 531    | 496    | 547    | 482    |
| Refractive Lens          | 4000K/5000K Lumens | 667    | 623    | 686    | 605    |
|                          | 3000K Lumens       | 563    | 526    | 580    | 511    |

Note: Power and current based on full power consumption while CBP is charging. Lumen outputs are while operating in emergency mode only.

**POWER AND LUMENS (LARGE + CBP)**

| Light Engine             |                    | AXCL6A | AXCL8A | AXCL10A |
|--------------------------|--------------------|--------|--------|---------|
| Power (Watts)            |                    | 81     | 97     | 127     |
| Input Current @ 120V (A) |                    | 0.65   | 0.81   | 1.04    |
| Input Current @ 240V (A) |                    | 0.33   | 0.41   | 0.52    |
| Input Current @ 277V (A) |                    | 0.29   | 0.36   | 0.45    |
| <b>Configuration</b>     |                    |        |        |         |
| Full Cutoff              | 4000K/5000K Lumens | 1,340  |        |         |
|                          | 3000K Lumens       | 1,168  |        |         |
| Refractive Lens          | 4000K/5000K Lumens | 1,380  |        |         |
|                          | 3000K Lumens       | 1,203  |        |         |

Note: Power and current based on full power consumption while CBP is charging. Lumen outputs are while operating in emergency mode only.

**ORDERING INFORMATION**

Sample Number: AXCS1A-AP-347V

| Model Series <sup>1</sup>  | LED Color Temperature                                    | Color  | Options (Add as Suffix)   |
|--|--|--|---|
| <b>Full Cutoff</b><br>AXCS1A=14W<br>AXCS2A=21W<br>AXCS3A=27W<br>AXCS4A=44W<br>AXCS5A=52W<br>AXCL6A=56W<br>AXCL8A=72W<br>AXCL10A=102W<br>AXCL12A=123W<br><br><b>Refractive Lens</b><br>AXCS1ARL=14W<br>AXCS2ARL=21W<br>AXCS3ARL=27W<br>AXCS4ARL=44W<br>AXCS5ARL=52W<br>AXCL6ARL=56W<br>AXCL8ARL=72W<br>AXCL10ARL=102W<br>AXCL12ARL=123W | [Blank]=4000K, Neutral<br>C=5000K, Cool<br>W=3000K, Warm | [Blank]=Carbon Bronze (Standard)<br>WT=Summit White<br>BK=Black<br>AP=Grey<br>GM=Graphite Metallic<br>DP=Dark Platinum | 347V=347V <sup>2</sup><br>480V=480V <sup>2</sup><br>PC1=Photocontrol 120V <sup>3,4,5</sup><br>PC2=Photocontrol 208-277V, 347V, 480V <sup>4,5,6</sup><br>PC=Photocontrol 120-277V, 347V, 480V <sup>4,7,8</sup><br>KKIT=Knuckle Floodlight Mount <sup>7</sup><br>TRNKIT=Trunnion Floodlight Mount<br>SFKIT=Slipfitter Floodlight Mount<br>PMAKIT=Pole Mount Arm<br>LWR-LW=LumaWatt Pro Wireless Sensor, Wide Lens for 8' - 16' Mounting Height <sup>4,9</sup><br>LWR-LN=LumaWatt Pro Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height <sup>4,9</sup><br>MSP/DIM-L12=Integrated Sensor for Dimming Operation, 8' - 12' Mounting Height <sup>4,9,10</sup><br>MSP/DIM-L30=Integrated Sensor for Dimming Operation, 12' - 30' Mounting Height <sup>4,9,10</sup><br>MSP-L12=Integrated Sensor for ON/OFF Operation, 8' - 12' Mounting Height <sup>4,9,10</sup><br>MSP-L30=Integrated Sensor for ON/OFF Operation, 12' - 30' Mounting Height <sup>4,9,10</sup><br>CBP=Cold Weather Battery Pack <sup>3,11,12,13,14,15</sup><br>10K=10kV/10kA Surge Protection<br>HA=50°C High Ambient <sup>12,16</sup><br>GRF=Glare Reducing Lens <sup>17</sup><br>AHD145=After Hours Dim, 5 Hours <sup>5,18</sup><br>AHD245=After Hours Dim, 6 Hours <sup>5,18</sup><br>AHD255=After Hours Dim, 7 Hours <sup>5,18</sup><br>AHD355=After Hours Dim, 8 Hours <sup>5,18</sup> |

**Accessories (Order Separately) <sup>19</sup>**

- VS/AXCS=Vandal Shield Axcent Small <sup>7,20</sup>
- VS/AXCS-MS=Vandal Shield Axcent Small (With Motion Sensor) <sup>7,20</sup>
- WG/AXCS=Wire Guard Axcent Small <sup>7</sup>
- WG/AXCS-MS=Wire Guard Axcent Small (With Motion Sensor) <sup>7</sup>
- VS/AXCL=Vandal Shield Axcent Large <sup>5,20</sup>
- VS/AXCL-MS=Vandal Shield Axcent (With Motion Sensor) <sup>5,20</sup>
- WG/AXCL=Wire Guard Axcent Large <sup>5</sup>
- WG/AXCL-MS=Wire Guard Axcent (With Motion Sensor) <sup>5</sup>
- KKIT/AXCS-XX=Knuckle and Visor Floodlight Kit (For Axcent Small) <sup>7</sup>
- SFKIT/AXCS-XX=Slipfitter Floodlight Kit (For Axcent Small) <sup>7</sup>
- TRNKIT/AXCS-XX=Trunnion and Visor Floodlight Kit (For Axcent Small) <sup>7</sup>
- TRNKIT-XX=Trunnion Floodlight Kit (For Axcent Large) <sup>5</sup>
- SFKIT-XX=Slipfitter Floodlight Kit (For Axcent Large) <sup>5</sup>
- PMAKIT-XX=Pole Mount Kit
- ISHH-01=Integrated Sensor Programming Remote <sup>21</sup>
- MA1010-XX=Single Tenon Adapter for 3-1/2" O.D. Tenon
- MA1011-XX=2 @ 180° Tenon Adapter for 3-1/2" O.D. Tenon
- MA1017-XX=Single Tenon Adapter for 2-3/8" O.D. Tenon
- MA1018-XX=2 @ 180° Tenon Adapter for 2-3/8" O.D. Tenon

**NOTES:**

1. DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.
2. Transformer used only when ordered with motion sensor or AXCS1 through AXCS5 or AXCL6 fixture wattages.
3. Not available in 347 or 480 VAC.
4. Button photocontrol and any motion sensor not offered together.
5. Only available on AXCL6-AXCL12 models.
6. Used with 277, 347, and 480 VAC options.
7. Only available on AXCS1-AXCS5 models.
8. This configuration may contain materials that are not RoHS compliant. Contact your lighting representative for more information.
9. Uses deep back housing.
10. The ISHH-01 accessory is required to adjust parameters.
11. Ambient operating temperature -20°C to 25°C for AXCL6 through AXCL10. Ambient operating temperature -20°C to 30°C on AXCS4 models. Ambient operating temperature -20°C to 40°C on AXCS1 through AXCS3 models.
12. Not available with AXCS5 or AXCL12 models.
13. Uses deep back housing for AXCS1, AXCL2, AXCS3, and AXCS4 models.
14. Not to be mounted in upwards / inverted orientation. Downlight wall mount only for AXCS1 through AXCS4.
15. In AXCS1, AXCS2, AXCS3, and AXCS4 models, CBP cannot be used with any sensor option (PC, MSP, LWR).
16. Can not be ordered with CBP or PC options.
17. Use dedicated IES files on product website for lumen values and distributions.
18. Requires the use of PC1 or PC2 button photocontrol. See After Hours Dim supplemental guide for additional information.
19. Replace XX with color designation.
20. For use with full cutoff lens configurations only.
21. This tool enables adjustment to parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult you lighting representative at Eaton for more information.

**STOCK ORDERING INFORMATION**

| Model Series <sup>1</sup> |                   |                 |                     |
|---------------------------|-------------------|-----------------|---------------------|
| Full Cutoff               |                   | Refractive Lens |                     |
| AXCS1A=14W                | AXCL10A=102W      | AXCS1ARL=14W    | AXCL10ARL=102W      |
| AXCS2A=21W                | AXCL12A=123W      | AXCS2ARL=21W    | AXCL12ARL=123W      |
| AXCS3A=27W                | AXCL6A-347V=56W   | AXCS3ARL=27W    | AXCL6ARL-347V=56W   |
| AXCS4A=44W                | AXCL8A-347V=72W   | AXCS4ARL=44W    | AXCL8ARL-347V=72W   |
| AXCS5A=52W                | AXCL10A-347V=102W | AXCS5ARL=52W    | AXCL10ARL-347V=102W |
| AXCL6A=56W                | AXCL12A-347V=123W | AXCL6ARL=56W    | AXCL12ARL-347V=123W |
| AXCL8A=72W                |                   | AXCL8ARL=72W    |                     |

**NOTES:**

1. All stock configurations are 4000K color temperatures, standard Carbon Bronze finish, and wall mount configuration.



Eaton  
 1121 Highway 74 South  
 Peachtree City, GA 30269  
 P: 770-486-4800  
 www.eaton.com/lighting

Specifications and dimensions subject to change without notice.



## Compensatory Measures

**Date:** January 3, 2024

**To:** Henry Lee, AICP  
Senior Planner  
Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, TX 75087

**From:** Nick Hobbs, PE

**Project Reference:** HEB Rockwall Compensatory Measures

Henry-

As part of the variances & exceptions associated with the site plan submittal, we propose the following compensatory measures:

1. Increased caliper size for canopy trees along the public ROW (John King Blvd & I-30 eastbound frontage) from 4" to 5". This was a suggestion by City staff.
2. Addition of a Trail Head/Pedestrian Rest Stop at the NE corner of the property. This was a suggestion by City staff that we will provide.
3. Four benches added along the sidewalk adjacent to John King Blvd. City staff suggested seating for the restaurant, but there is a health safety concern with attracting birds and other wildlife and therefore we have proposed this alternative.
4. Underground detention. We feel that this improves the utilization of the site.
5. Heavy landscaping has been provided at SE corner of the property to screen the truck docks from public ROW (John King Blvd). This is an addition to the required masonry screen wall.
6. Three-tiered landscape screening along south property line in lieu of screen wall per City request.

Please let me know if any further is needed.

A handwritten signature in blue ink, appearing to read 'Nick Hobbs', written in a cursive style.

**Nick Hobbs, PE**

BGE, Inc.

469-644-1664



# CITY OF ROCKWALL

## PLANNING AND ZONING COMMISSION CASE MEMO

### PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

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**TO:** Planning and Zoning Commission  
**DATE:** January 9, 2024  
**APPLICANT:** Leslie Ford; *Ofi Chito*  
**CASE NUMBER:** SP2023-048; *Site Plan for McDonald's*

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### SUMMARY

Discuss and consider a request by Leslie Ford of Ofi Chito on behalf of Michael Hampton of Creekside Commons Crossing, LP for the approval of a Site Plan for a *Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In (i.e. McDonald's)* on a 1.251- acre tract of land identified as a portion of Lot 3 and all of Lot 2, Block A, Creekside Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, generally located north of the northeast corner of the intersection of S. Goliad Street [SH-205] and FM-549, and take any action necessary.

### BACKGROUND

On May 19, 1986, the subject property was annexed into the City of Rockwall by *Ordinance No. 86-37 [Case No A1986-005]*. On March 4, 2013, the City Council approved a zoning change from an Agricultural (AG) District to a Commercial (C) District [Case No. Z2013-002; *Ordinance No. 13-03*] for a 45.5601-acre tract of land. On June 7, 2021, the City Council approved a preliminary plat [Case No. P2021-027] for a 14-lot commercial development (*i.e. Lots 1-14, Block A, Creekside Commons Addition*), which includes the subject property. On November 7, 2022, the City Council approved a final plat that establish the subject property as a portion of Lot 3 and all of Lot 2, Block A, Creekside Commons Addition. The subject property has remained vacant since its annexation.

On October 20, 2023, the applicant submitted an application to request approval of a Site Plan for a *Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In (i.e. McDonald's)*. On November 14, 2023, the Planning and Zoning Commission approved a motion to table the applicant's request, to allow the applicant time to better address concerns with regard to the building elevations. On December 7, 2023, the applicant submit a letter to staff requesting to withdraw their case in order to allow for more time to address the Planning and Zoning Commission concerns with regard to the building elevations.

### PURPOSE

On December 15, 2023, the applicant -- *Leslie Ford of Ofi Chito* -- submitted an application requesting the approval of a Site Plan for the purpose of constructing a *Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In* on the subject property.

### ADJACENT LAND USES AND ACCESS

The subject property is generally located southeast of the intersection of S. Goliad Street [SH-205] and S. FM-549. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is the remainder of the Creekside Commons Addition, which is zoned for Commercial (C) District land uses and is vacant. Beyond this is S. FM-549, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is the Somerset Park Subdivision, which is a 309-lot single-family residential master planned community that is zoned Planned Development District 63 (PD-63) for Single-Family 10 (SF-10) land uses.

South: Directly south of the subject property a 1.50-acre parcel of land (i.e. Lot 1, Block A, Creekside Commons Addition), developed with a convenience store with gasoline sales (i.e. 7-11) that is zoned Commercial (C) District. Beyond this is S. Goliad Street [SH-205], which is identified as a P6D (i.e. principal arterial, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Following this is a vacant 6.9998-acre tract of land (i.e. Tract 10-1 of the W. W. Ford Survey, Abstract No. 80) that is zoned General Retail (GR) District. Beyond this is S. FM-549, which is classified as a A4D (i.e. major arterial, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is remainder of the Creekside Commons Addition, which is zoned for Commercial (C) District land uses and is vacant. Adjacent to the property line of the Creekside Commons Addition is the corporate limits of the City of Rockwall, followed by an unincorporated area with single-family homes.

West: Directly west of the subject property is S. Goliad Street [SH-205], which is identified as a P6D (i.e. principal arterial, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 6.9998-acre vacant tract of land (i.e. Tract 10-01 of the W. W. Ford Survey, Abstract No. 80) that is zoned General Retail (GR) District. Beyond this is the Oaks of Buffalo Way Subdivision, which consists of 58 single-family residential lots on 109.57-acres that is zoned Single-Family Estate 1.5 (SFE-1.5) District.

**DENSITY AND DIMENSIONAL REQUIREMENTS**

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In* is permitted *by-right* in a Commercial (C) District. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District with the exception of the item(s) noted in the *VariANCES and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

| <i>Ordinance Provisions</i>             | <i>Zoning District Standards</i>                                  | <i>Conformance to the Standards</i> |
|---|---|-------------------------------------|
| <i>Minimum Lot Area</i>                 | 10,000 SF   | X=1.251-acres; In Conformance       |
| <i>Minimum Lot Frontage</i>             | 60-Feet   | X= 202.06-feet; In Conformance      |
| <i>Minimum Lot Depth</i>                | 100-Feet  | X=269.59-feet; In Conformance       |
| <i>Minimum Front Yard Setback</i>       | 15-Feet   | X>15-feet; In Conformance           |
| <i>Minimum Rear Yard Setback</i>        | 10-Feet   | X>10-feet; In Conformance           |
| <i>Minimum Side Yard Setback</i>        | 10-Feet   | X>10-feet; In Conformance           |
| <i>Maximum Building Height</i>          | 60-Feet   | X=23.65-feet; In Conformance        |
| <i>Max Building/Lot Coverage</i>        | 60%   | X=8.84%; In Conformance             |
| <i>Minimum Number of Parking Spaces</i> | 1 Parking Space/100 SF (Restaurant)<br>48 Required Parking Spaces | X=48; In Conformance                |
| <i>Minimum Landscaping Percentage</i>   | 20%   | X=20.3%; In Conformance             |
| <i>Maximum Impervious Coverage</i>      | 85-90%  | X=79.7%; In Conformance             |

**CONFORMANCE WITH THE CITY'S CODES**

The applicant is requesting to construct a *Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In* on the subject property. According to Subsection 02.02(F)(29), *Restaurant with Drive Through or Drive-In*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a *Restaurant with Drive Through or Drive-In* is defined as “(a) place of business whose primary source of revenue is derived from the sale of prepared food to the general public for consumption on-premise or off-premises and/or in a personal vehicle or where facilities are provided on the premises that encourages the serving and consumption of food in a personal vehicle on or near the restaurant premises.” In this case, the applicant's proposed use falls under this classification, which is permitted *by-right* within a Commercial (C) District. When reviewing the proposed site plan against these standards, it appears to generally conform with the exception of the variance(s) and exception(s) being requested as outlined in the *VariANCES and Exceptions Requested by the Applicant* section of this case memo.

## VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following variance(s) and exception(s):

(1) Architectural Standards.

- (a) Four-Sided Architecture. According to Subsection 06.02(C)(5), of Article 05, of the *General Overlay District Development Standards* of the Unified Development Code (UDC), "(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features." In this case, the proposed building does not incorporate the same architectural elements on the west and north façade in order to meet the four-sided architecture requirements. This will require a Variance from the Planning and Zoning Commission.
- (b) Articulation. According to Subsection 06.02(C)(5), of Article 05, of the *General Overlay District Development Standards* of the Unified Development Code (UDC), "(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features." In this case, the proposed building does not meet the primary articulation standards on each façade. This will require a Variance from the Planning and Zoning Commission.
- (c) Roof Design. According to Subsection 06.02(C)(1), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a)ll structures that have a building footprint of less than 6,000 SF shall be constructed with a pitched roof." In this case, the proposed building is less than 6,000 SF and utilizing a parapet system. This will require a Variance from the Planning and Zoning Commission.
- (d) Stone. According to Subsection 06.02(C)(1), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(a) minimum of 20% natural or quarried stone is required on all building façades." In this case, the applicant is proposing 8.57% stone on the south façade, and 13.64% stone on the west façade. This will require a Variance from the Planning and Zoning Commission.
- (e) Primary Materials. According to Subsection 06.02(C)(1), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(e)ach exterior wall of a building's façade shall consist of a minimum of 90% Primary Materials." In this case, the applicant is proposing 76.33% primary material on the south façade, and 82.56% primary material on the north façade. This will require a Variance from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In addition, the code requires that the applicant provide two (2) compensatory measures that directly offset each requested variance and/or exception, and based on the submitted materials the applicant's request would require ten (10) compensatory measures. The applicant has indicated the following compensatory measures: [1] increased architectural elements (*i.e. canopies, display windows, and cornice line*), [2] articulated ground floor or base (*i.e. stone base provided*), [3] front and side yard landscaping has 77% of the site plantings (*i.e. the UDC requires 50% in the front yard*), [4] parking lot landscaping exceeds the requirements of the code with 1,580 SF provided (*versus the 423 SF required*), [5] a bench and outdoor planters have been added to the entrance connected to the sidewalk along SH-205, and [6] an additional accent tree has been added on site. Staff should note that compensatory measure #1 is not compensatory as increased architectural elements are required for all buildings locate within an overlay district, per the *General Overlay District Standards*. In addition, compensatory measure #2 is also not compensatory as all non-residential buildings within the City are required to have articulation. Requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

## **CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN**

According to the Future Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the South Central Residential District and is designated for Commercial land uses. According to the District Strategies this land use designation should "... support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures." In this case, the applicant is proposing a Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In. Based on this, the applicant's land use appears to conform with the Comprehensive Plan. In addition, Chapter 09, Non-Residential, of the OURHometown Vision 2040 Comprehensive Plan states as one (1) of the architectural policies the community should "... encourage high quality and inspiring architecture throughout the City..." More specifically the OURHometown Vision 2040 Comprehensive Plan states that "(l)ong, blank wall facades on all nonresidential buildings should be subdivided with vertical breaks -- or 'articulated' in architectural terms --, and architectural elements should be incorporated to reflect a scale and rhythm that is more traditional of a small-town." In this case, it is a discretionary decision if the applicant's request conforms with the goals for non-residential buildings contained in the Comprehensive Plan because of the amount of requested variances associated with materials and articulation.

## **ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION**

On December 27, 2023, the Architectural Review Board (ARB) reviewed the proposed building elevations. The ARB made the recommendation to the applicant to increase the depth of the parapets in order to better meet the articulation requirements. Based on the building elevations submitted by the applicant, the applicant has chosen not to address the ARB's recommendation; however, the ARB will review the changes to the building elevations on January 9, 2024.

## **CONDITIONS OF APPROVAL**

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of a Restaurant, Greater than 2,000 SF, with Drive-Through or Drive-In on the subject property, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

### STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

#### PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) <sup>1</sup>
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- FINAL PLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- REPLAT (\$300.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

#### SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) <sup>1</sup>
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

#### ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) <sup>1</sup>
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) <sup>1&2</sup>
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) <sup>1</sup>

#### OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) <sup>2</sup>

#### NOTES:

<sup>1</sup>: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.  
<sup>2</sup>: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

### PROPERTY INFORMATION [PLEASE PRINT]

|                  |                             |     |       |   |
|------------------|-----------------------------|-----|-------|---|
| ADDRESS          | To Be Assigned              |     |       |   |
| SUBDIVISION      | Creekside Commons           | LOT | BLOCK | A |
| GENERAL LOCATION | NWC of State Hwy 205 FM 549 |     |       |   |

### ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

|                 |   |                |  |                 |   |
|-----------------|---|----------------|--|-----------------|---|
| CURRENT ZONING  | C - Commercial District in SH205 Overlay District | CURRENT USE    | Vacant                                   |                 |   |
| PROPOSED ZONING | No change to base zoning designation requested.   | PROPOSED USE   | McDonald's Restaurant with Drive-Through |                 |   |
| ACREAGE         |   | LOTS [CURRENT] | 1  | LOTS [PROPOSED] | 1 |

**SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

### OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

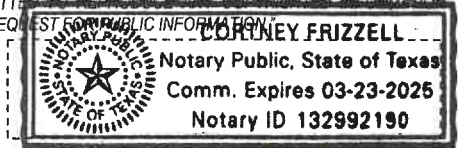
|   |                                 |                                    |                          |
|---|---------------------------------|------------------------------------|--------------------------|
| <input checked="" type="checkbox"/> OWNER | Creekside Commons Crossing, LP  | <input type="checkbox"/> APPLICANT | Ofi Chito                |
| CONTACT PERSON                            | Michael Hampton, Vice President | CONTACT PERSON                     | Leslie Ford              |
| ADDRESS                                   | 10755 Sandhill Road             | ADDRESS                            | 3224 Collinsworth Street |
| CITY, STATE & ZIP                         | Dallas, Texas 75238             | CITY, STATE & ZIP                  | Fort Worth, TX 76107     |
| PHONE                                     | 214-271-4630                    | PHONE                              | 325-370-9965             |
| E-MAIL                                    | mhampton@prudentdevelopment.com | E-MAIL                             | leslie@ofchito.com       |

### NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Michael Hampton [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$270.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 10th DAY OF October, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10th DAY OF October, 2023  
OWNER'S SIGNATURE: [Signature]  
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: [Signature]



MY COMMISSION EXPIRES 03-23-2025





# DEVELOPMENT APPLICATION

City of Rockwall  
Planning and Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. \_\_\_\_\_

**NOTE:** THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: \_\_\_\_\_

CITY ENGINEER: \_\_\_\_\_

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

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|------------------|-----------------------------|-----|-------|---|
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| SUBDIVISION      | Creekside Commons           | LOT | BLOCK | A |
| GENERAL LOCATION | NWC of State Hwy 205 FM 549 |     |       |   |

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## OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

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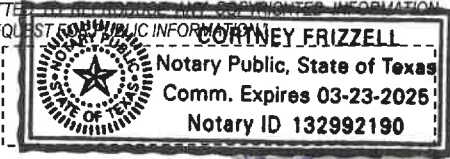
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OWNER'S SIGNATURE [Signature]

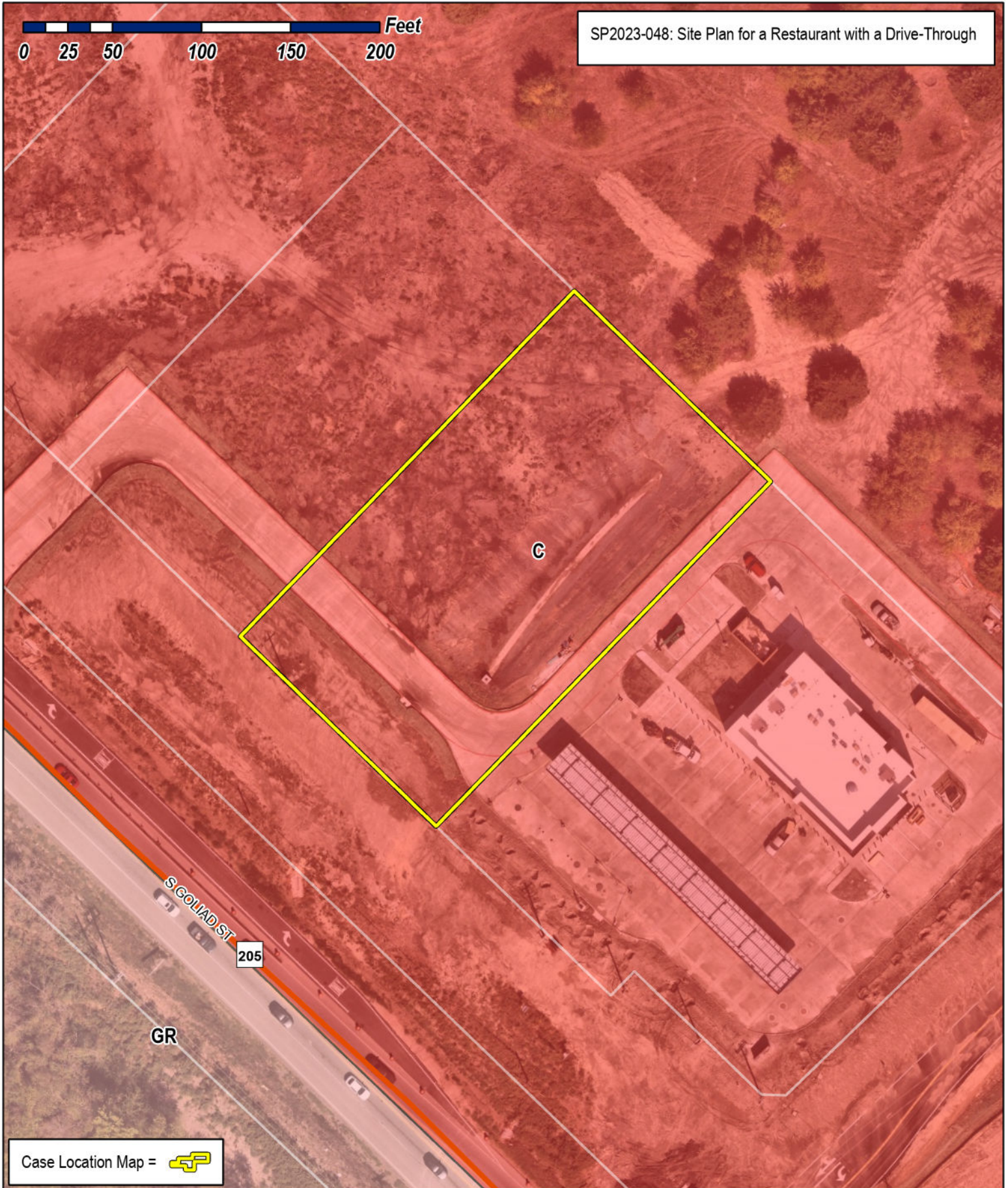
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]




MY COMMISSION EXPIRES 03-23-2025



SP2023-048: Site Plan for a Restaurant with a Drive-Through



Case Location Map = 



# City of Rockwall

Planning & Zoning Department  
385 S. Goliad Street  
Rockwall, Texas 75087  
(P): (972) 771-7745  
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



### LEGEND

LIGHT STANDARD (15' CLEAR FROM ALL OVERHEAD UTILITY LINES) (24" CLEAR FROM BACK OF CURB)

McDONALD'S DIGITAL MENU BOARD

McDONALD'S ORDER HERE CANOPY

McDONALD'S DIGITAL PRE-BROWSE BOARD

McDONALD'S DOUBLE GATEWAY

McDONALD'S DIRECTIONAL SIGN

DETECTOR LOOP (LOCATION TO BE APPROVED BY McDONALD'S) (RE: C10.0 STANDARD DETAILS)

"DRIVE-THRU" WITH "CIRCLE / ARROW" - COLOR: YELLOW

PAINTED "STOP" AND 12" STOP BAR WITH "STOP" SIGN - COLOR: YELLOW \*

"THANK YOU" AT END OF PATH - COLOR: YELLOW

"CIRCLE / ARROW" - COLOR: YELLOW

ARROW PATH DIRECTION - COLOR: WHITE

STRAIGHT DRIVE-THRU "ARROW MARKING" - COLOR: YELLOW

### PAVING LEGEND

HEAVY DUTY REINFORCED CONCRETE @ DRIVE-THRU & PARKING AREA. MINIMUM 5" THICK WITH #3 BARS @ 18" O.C.E.W. CONCRETE TO BE 3600 PSI 28-DAY STRENGTH, 6.5 SACK MIN.

HEAVY DUTY REINFORCED CONCRETE @ DRIVING AREAS & FIRE LANES. MINIMUM 6" THICK WITH #3 BARS @ 18" O.C.E.W. CONCRETE TO BE 3600 PSI 28-DAY STRENGTH, 6.5 SACK MIN.

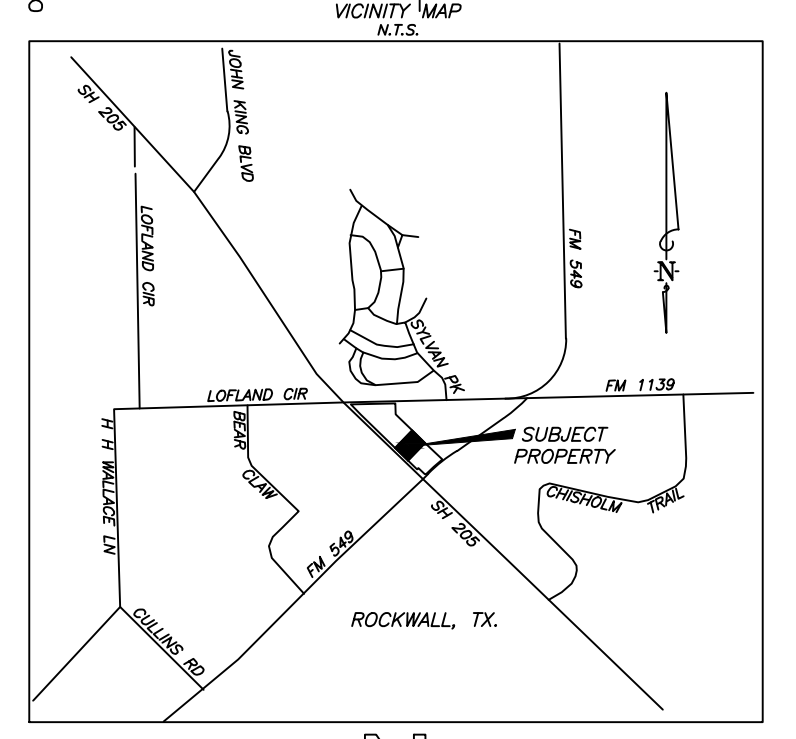
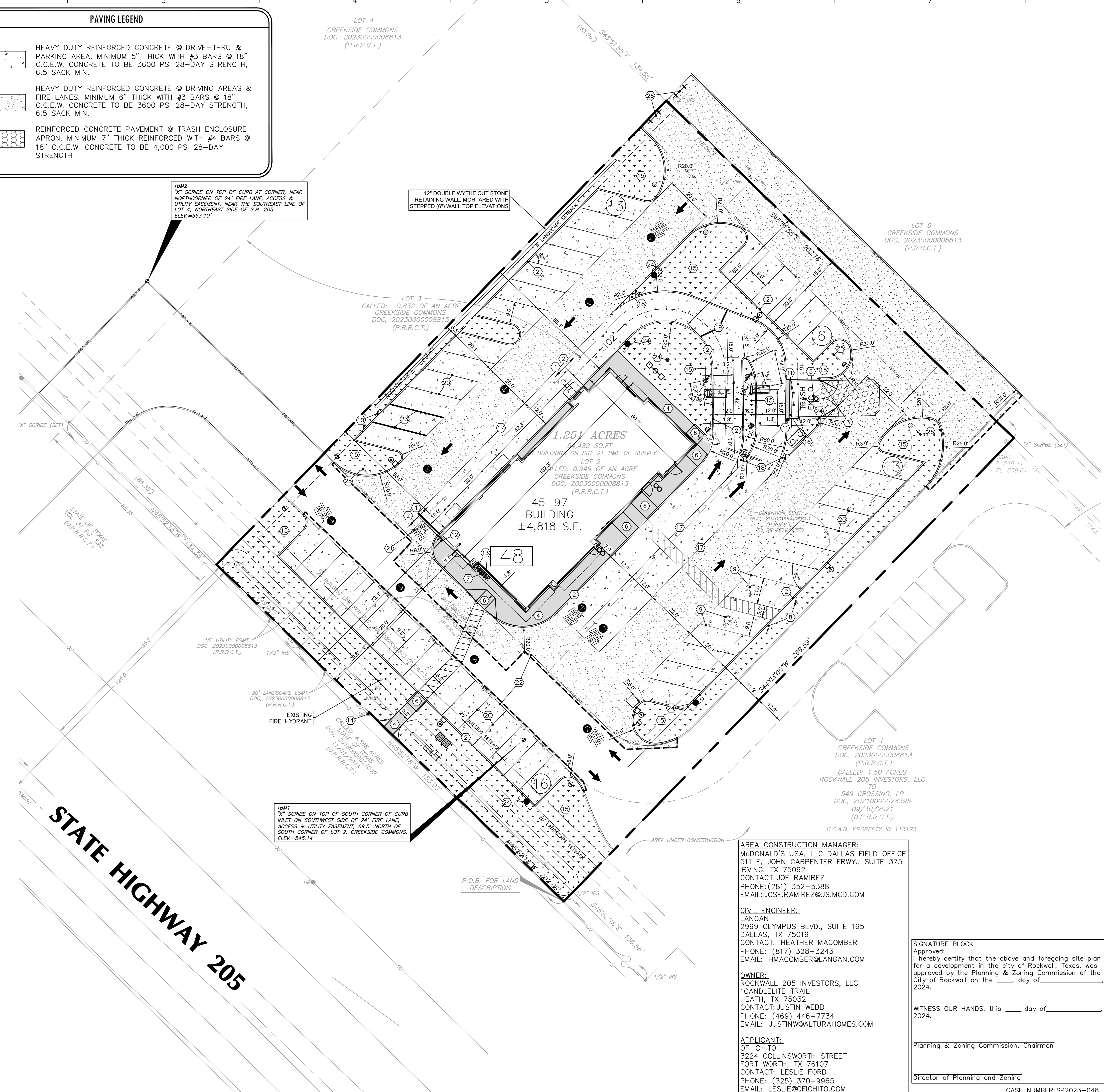
REINFORCED CONCRETE PAVEMENT @ TRASH ENCLOSURE APRON. MINIMUM 7" THICK REINFORCED WITH #4 BARS @ 18" O.C.E.W. CONCRETE TO BE 4,000 PSI 28-DAY STRENGTH

### KEY NOTE LEGEND

| MARK | MARK DESCRIPTION  |
|------|---|
| 1    | CONCRETE VERTICAL CURB @DRIVE-THRU (RE: C10.2 STANDARD DETAILS)   |
| 2    | CURB AND GUTTER @NON DRIVE-THRU AREAS (RE: C10.2 STANDARD DETAILS)                                      |
| 3    | TURN DOWN CURB (RE: C10.3 STANDARD DETAILS)   |
| 4    | REINFORCED CONCRETE SIDEWALK (RE: C10.3 STANDARD DETAILS)   |
| 5    | 100 GAL SAND OIL SEPARATOR (RE: PARK USA CMP-1)   |
| 6    | H.C. ACCESS RAMP @1:12 MAX SLOPE (RE: C10.1 STANDARD DETAILS)   |
| 7    | BENCH (G.C. TO COORDINATE WITH O/O & ACM)   |
| 8    | HANDICAP ACCESSIBLE SIGN (POLE MOUNTED) (RE: C10.1 STANDARD DETAILS)                                    |
| 9    | HANDICAP ACCESSIBLE SPACES / SYMBOLS / CROSSWALK - COLOR: (RE: C10.1 STANDARD DETAILS)                  |
| 10   | McDONALD'S OOSP, MOBILE & ROLL FORWARD SIGNS (RE: C10.4 STANDARD DETAILS)                               |
| 11   | BOLLARD (RE: C10.0 STANDARD DETAILS)  |
| 12   | 5" GUARDRAIL @ INGRESS/EGRESS DOOR (RE: C10.1 STANDARD DETAILS)   |
| 13   | PLANTERS (G.C. TO COORDINATE WITH O/O & ACM)  |
| 14   | POLE MOUNTED TRANSFORMER (RE: C9.0 UTILITY PLAN)  |
| 15   | LANDSCAPE FINISH GRADE 1" BELOW TOP OF CURB IN ALL LAWN AREAS AND 2" BELOW TOP OF CURB IN ALL BED AREAS |
| 16   | 8" TALL MASONRY SCREENING WALL (RE: ARCHITECTURAL PLANS)  |
| 17   | 6" DRIVE-THRU STRIPING - COLOR: YELLOW  |
| 18   | 4" DIAGONAL PAINTED ISLANDS AT DRIVE-THRU - COLOR: YELLOW   |
| 19   | 6" MERGE POINT - COLOR: YELLOW  |
| 20   | 4" PARKING STALL STRIPING - COLOR: WHITE (TYP)  |
| 21   | 8" OOSP STRIPING - COLOR: YELLOW  |
| 22   | FIRE LANE STRIPING PER CITY OF ROCKWALL FIRE CODE STANDARDS   |
| 23   | 4" OOSP & MOBILE PICK-UP STRIPING - COLOR: YELLOW   |
| 24   | DRAINAGE STRUCTURE (RE: C8.1 POST DEVELOPED DRAINAGE PLAN)  |
| 25   | DO NOT ENTER SIGN   |
| 26   | TYPE III BARRICADE (PER MUTCD STANDARDS)  |

### SITE INFORMATION

|                                |  |
|--------------------------------|--|
| LAND AREA:                     | 54,489 SF (1.251 AC)                           |
| CURRENT ZONING:                | C-COMMERCIAL DISTRICT (SH205 OVERLAY DISTRICT) |
| EXISTING USE:                  | VACANT LOT                                     |
| PROPOSED USE:                  | McDONALD'S RESTAURANT W/DRIVE-THRU             |
| BUILDING AREA (APPROXIMATE):   | 4,818 GFA                                      |
| BUILDING LOT COVERAGE:         | 4,818 SF/54,489 SF = 8.84%                     |
| PARKING CALCULATIONS:          | 1 SPACE PER 100 SF                             |
| PARKING SPACED REQUIRED:       | 48   |
| PARKING SPACES PROVIDED:       | 48   |
| HANDICAP PARKING REQUIRED:     | 2  |
| HANDICAP PARKING PROVIDED:     | 2  |
| LANDSCAPE SETBACK:             | 20' FRONT; 5' REAR & SIDE                      |
| BUILDING SETBACK:              | 25' FRONT; 10' SIDES & REAR                    |
| EXISTING IMPERVIOUS AREAS:     | 13.9% (7,592 SF)                               |
| PROPOSED IMPERVIOUS AREAS:     | 66.2% (36,028 SF)                              |
| PROPOSED LANDSCAPE PERCENTAGE: | 19.9% (10,869 SF)                              |



SCALE: 1" = 20'

811

Know what's below. Call before you dig.

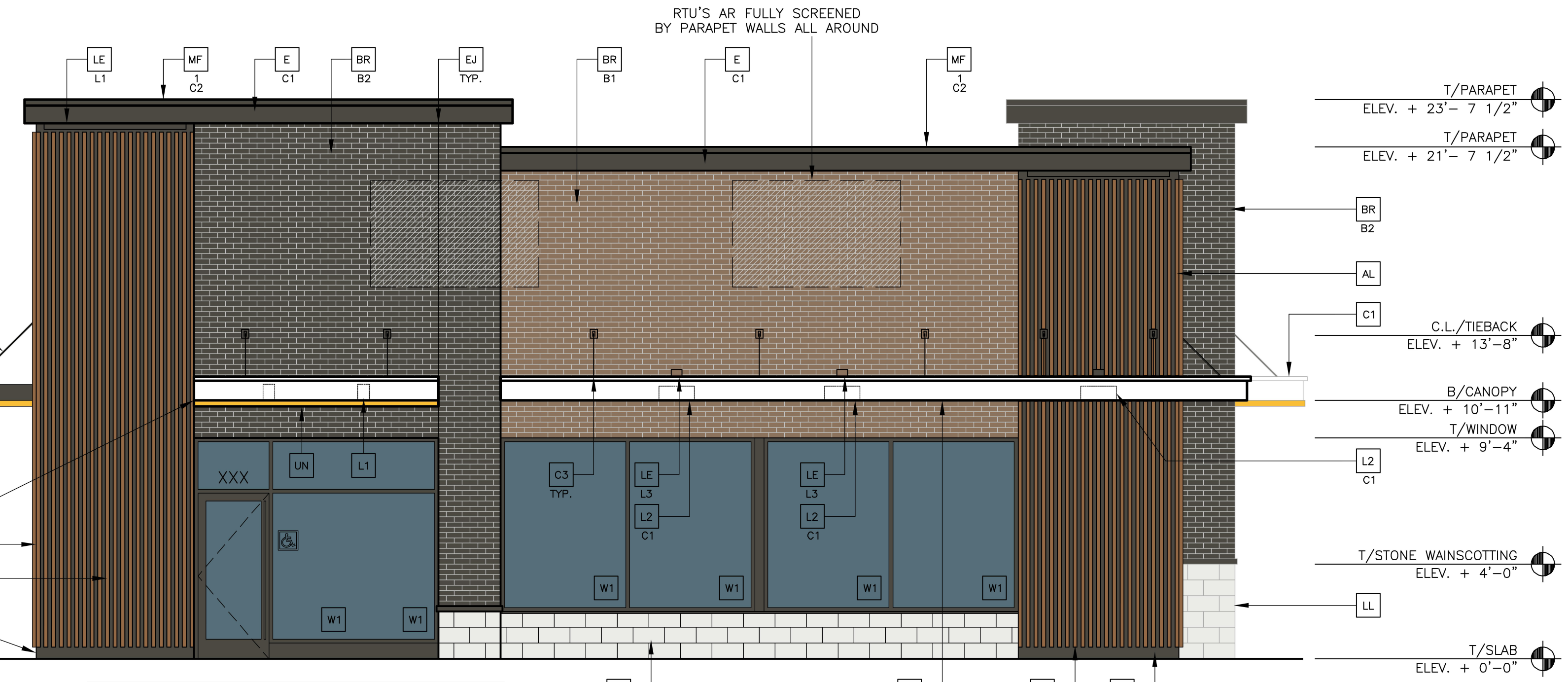
| Date   | Description | No. |
|--|-------------|-----|
| Revisions  |             |     |
| <p>McDonald's USA, LLC</p> <p>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on this specific site in conjunction with its issue date and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.</p> |             |     |
| <p>1.3.23</p>  |             |     |
| <p>LANGAN</p> <p>Langan Engineering and Environmental Services, Inc.</p> <p>2999 Olympus Blvd, Suite 165<br/>Dallas, TX 75019</p> <p>T: 817.328.3200 www.langan.com<br/>TBPE FIRM REG. #F-17079</p>  |             |     |

|   |             |
|---|-------------|
| Project   |             |
| <p>McDonald's Restaurant<br/>L/C #042-3426 (NSN 41096)<br/>4901 S. GOLIAD ST.<br/>PROPOSED LOT 2R, BLOCK A,<br/>CREEKSIDE COMMONS<br/>ROCKWALL</p>  |             |
| <p>ROCKWALL COUNTY TEXAS</p> <p>Drawing Title</p> <h2>SITE PLAN</h2>  |             |
| Project No.   | Drawing No. |
| 520061401   | C4.0        |
| Date  | 01/03/2024  |
| Drawn By  | MNK         |
| Checked By  | HJM         |
| <p>Signature Block</p> <p>Approved: I hereby certify that the above and foregoing site plan for a development in the city of Rockwall, Texas, was approved by the Planning &amp; Zoning Commission of the City of Rockwall on the ___ day of 2024.</p> <p>Witness Our Hands, this ___ day of 2024.</p> <p>Planning &amp; Zoning Commission, Chairman</p> <p>Director of Planning and Zoning</p> |             |
| <p>Case Number: SP2023-048</p>  |             |

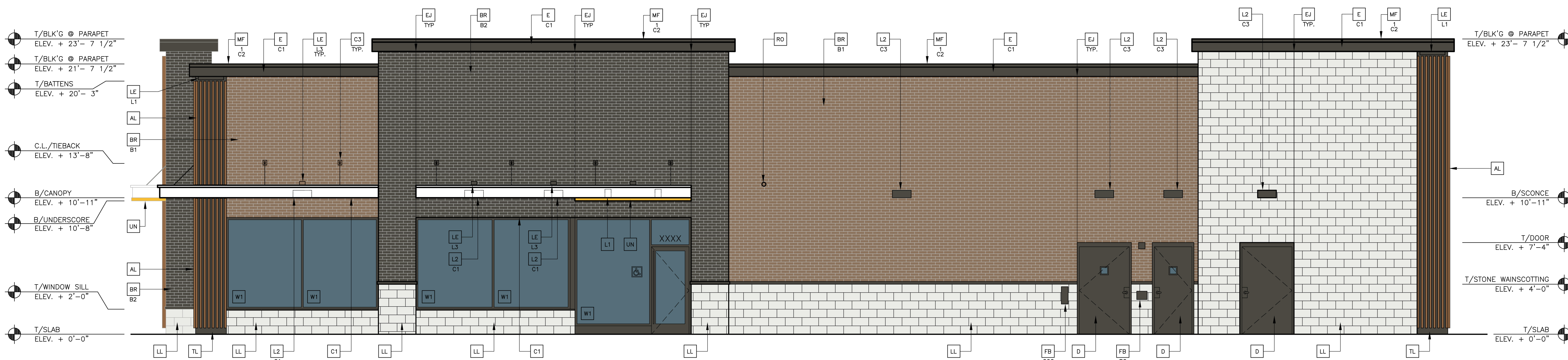
| BUILDING MATERIAL CALCULATIONS BUILDING |                 |             |                |             |                |             |                 |             |              |             |               |
|---|-----------------|-------------|----------------|-------------|----------------|-------------|-----------------|-------------|--------------|-------------|---------------|
| Materials                               | South Elevation |             | East Elevation |             | West Elevation |             | North Elevation |             | Totals       |             | Total Masonry |
|   | SF              | %           | SF             | %           | SF             | %           | SF              | %           | SF           | %           |               |
| Brick                                   | 511             | 61.71%      | 1,234          | 61.79%      | 1,559          | 70.16%      | 376             | 32.14%      | 3,680        | 59.19%      | 87.71%        |
| Limestone                               | 71              | 8.57%       | 554            | 27.74%      | 303            | 13.64%      | 540             | 46.15%      | 1,468        | 23.61%      |               |
| Stucco                                  | 50              | 6.04%       | 103            | 5.16%       | 102            | 4.59%       | 50              | 4.27%       | 305          | 4.91%       |               |
| Wood Look Battens                       | 196             | 23.67%      | 106            | 5.31%       | 106            | 4.77%       | 204             | 17.44%      | 612          | 9.84%       |               |
| Metal Paneling                          | 0               | 0.00%       | 0              | 0.00%       | 152            | 6.84%       | 0               | 0.00%       | 152          | 2.44%       |               |
| <b>Totals (Excluding Glazing)</b>       | <b>828</b>      | <b>100%</b> | <b>1,997</b>   | <b>100%</b> | <b>2,222</b>   | <b>100%</b> | <b>1,170</b>    | <b>100%</b> | <b>6,217</b> | <b>100%</b> |               |



- T/BLK'G @ PARAPET ELEV. + 23'-7 1/2"
- T/BATTENS ELEV. + 22'-3"
- B/CANOPY ELEV. + 10'-11"
- B/UNDERSCORE ELEV. + 10'-8"
- T/WINDOW ELEV. + 9'-4"
- T/SILL ELEV. + 2'-0"
- T/SLAB ELEV. + 0'-0"



1 FRONT ELEVATION - SOUTH  
1/4" = 1'-0"



2 NON-DRIVE-THRU ELEVATION - EAST  
1/4" = 1'-0"

- KEY NOTES:**
- AP ALPOLIC METAL PANEL (COLOR: RAL 7022)
  - BR MODULAR FACE BRICK COLOR: B1 = "MUSHROOM BROWN" BY ACME BRICK COMPANY B1-(MORTAR TO BE LIGHT BUFF TO MATCH LIMESTONE) B2 = "EBONY" SMOOTH BY ACME BRICK COMPANY (MORTAR TO MATCH BRICK COLOR AS MUCH AS POSSIBLE)
  - AL ALUMINUM BATTEN SYSTEM MFR: B+N INDUSTRIES SIZE: 2"x2" PROFILE COLOR: WOOD GRAIN, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH SUBSTRATE: 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1. HDO BOTH FACES. APAP TRADEMARKED. COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AN DPAINT BOTH SIDES AND ALL EDGES. SUBSTRATE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
  - TL TRU EXTERIOR 1"x6" TRIM, PAINTED ON SITE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
  - C1 ALUMINUM CANOPY SYSTEM W/FASCIA COLOR: WHITE
  - C2 ALUMINUM CANOPY SYSTEM COLOR: RAL 7022
  - C3 ALUMINUM CANOPY TIEBACK COLOR: RAL 7022 GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS, WHEN TIEBACKS ARE INSTALLED ON METAL PANELING. SEE DETAIL 3/A5.0
  - EJ EXPANSION JOINT, SEE DETAIL 7/A4.1
  - FB CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00) BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)
  - D HOLLOW METAL DOOR PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS
  - DE DECAL BY GRAPHICS SUPPLIER SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED. SUPPLIERS: VOMELA (865) 330-7337, ann.bowen@vomela.com GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com
  - SR 12" STANDING SEAM METAL SLOPED ROOF OVER METAL AWNING FRAME (COLOR DARK BRONZE)
  - LL LIMESTONE BY SALADO LIMESTONE (ARCHITECTURAL CUT) COLOR: LINEN (RUNNING BOND) SIZE: 8"x16"x4" FINISH: SMOOTH
  - LIMESTONE TO HAVE 1/4" RAKED MORTAR JOINTS (MORTAR COLORS TO BE LIGHT BUFF) SUBMIT TO ARCHITECT FOR APPROVAL
  - GR GUARD RAIL -SEE SITE PLAN FOR EXACT LOCATION AND LENGTH USE STAINLESS STEEL OR GALVANIZED STEEL
  - L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL COLOR: GOLD
  - W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS COLOR: EXTRA DARK BRONZE
  - W2 DRIVE-THRU WINDOW BY READY ACCESS MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN, ELECTRONIC RELEASE COLOR: DEEP BRONZE SLIDE DIRECTION: RL = RIGHT TO LEFT LR = LEFT TO RIGHT
  - L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL C1-COLOR: C1= WHITE C2= PLATINUM SILVER C3= DARK BRONZE
  - LE ACCENT LIGHTING - SEE ELECTRICAL L1-LED LIGHT: L1 = SLIM LED (DOWN ONLY) L2 = INTEGRAL CANOPY FIXTURE L3 = UP ONLY FLOOD FIXTURE
  - MF METAL FASCIA C1-TYPE: 1 = PRE-FAB ANCHOR-TITE FASCIA 2 = BOTTOM TRIM AT METAL REVEAL PANEL 3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES COLOR: C1= WEATHERED ZINC C2= RAL 7022
  - AW METAL AWNINGS WITH ALUMINUM SUPPORT BRACKETS, BY CANOPY VENDOR (COLOR DARK BRONZE)
  - PB PIPE BOLLARD - PAINTED YELLOW
  - PT (RHM) COIN COLLECTOR MODEL: #WPT STD CALL 1-888-743-7435 TO ORDER
  - RO ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
  - S McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT. C1-COLOR: C1= WEATHERED ZINC RACEWAY C2= RAL 7022 RACEWAY
  - ST CO2 STROBE/ALARM. SEE MECHANICAL DRAWINGS FOR SPECIFICATION.
  - UN METAL UNDERSCORE COLOR: GOLD
  - E 7/8" 3-COAT STUCCO SYSTEM, REF WALL ASSEMBLY NOTES C1-"IRON ORE" SW 7069 BY SHERWIN WILLIAMS

**SIGNATURE BLOCK**  
Approved:  
I hereby certify that the above and foregoing site plan for a development in the city of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the \_\_\_\_ day of \_\_\_\_\_, 2024.

WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

CASE NUMBER: SP2023-048

REGISTERED ARCHITECT  
SHERWIN WILLIAMS  
STATE OF TEXAS  
1924

PREPARED FOR:  
**McDonald's USA, LLC**

PREPARED BY:  
JAW

TITLE: 2023 CUSTOM BUILDING DESIGN 4597-WOOD/WOOD

DESCRIPTION: WOOD BEARING WALLS W/4" BRICK VENEER WOOD ROOF TRUSS FRAMING STONE/BATTEN/BRICK EXTERIOR FINISH

SHEET NO.: JAWA 23-0038  
**A2.0**  
ELEVATIONS

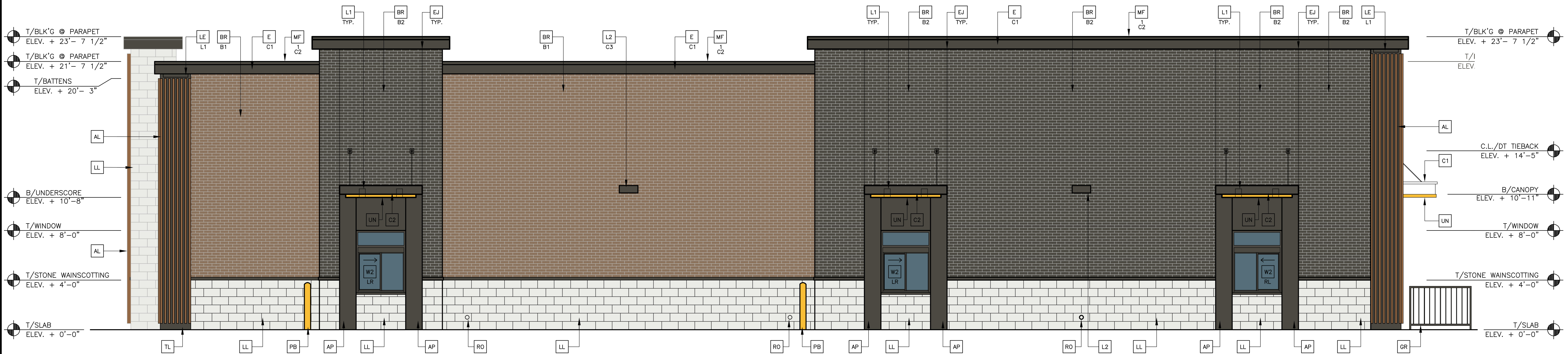
DATE: 10/06/2023

REV: 1

DATE: 12/11/2023

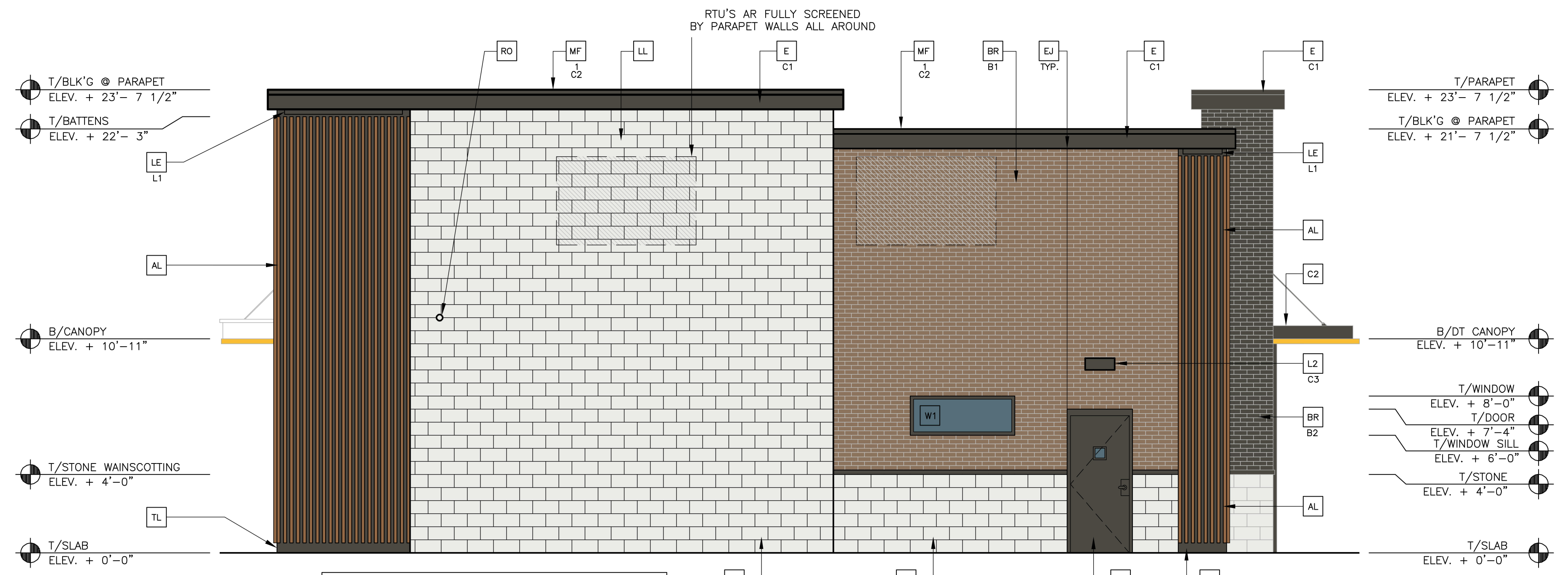
DESCRIPTION: PLANNING DEPARTMENT COMMENTS

BY: \_\_\_\_\_



1 DRIVE THRU ELEVATION - WEST  
A2.1 1/4" = 1'-0"

| Materials                  | South Elevation |        | East Elevation |        | West Elevation |        | North Elevation |        | Totals |        | Total Masonry |
|----------------------------|-----------------|--------|----------------|--------|----------------|--------|-----------------|--------|--------|--------|---------------|
|                            | SF              | %      | SF             | %      | SF             | %      | SF              | %      | SF     | %      |               |
| Brick                      | 511             | 61.71% | 1,234          | 61.79% | 1,559          | 70.16% | 376             | 32.14% | 3,680  | 59.19% | 87.71%        |
| Limestone                  | 71              | 8.57%  | 554            | 27.74% | 303            | 13.64% | 540             | 46.15% | 1,468  | 23.61% |               |
| Stucco                     | 50              | 6.04%  | 103            | 5.16%  | 102            | 4.59%  | 50              | 4.27%  | 305    | 4.91%  |               |
| Wood Look Battens          | 196             | 23.67% | 106            | 5.31%  | 106            | 4.77%  | 204             | 17.44% | 612    | 9.84%  |               |
| Metal Paneling             | 0               | 0.00%  | 0              | 0.00%  | 152            | 6.84%  | 0               | 0.00%  | 152    | 2.44%  |               |
| Totals (Excluding Glazing) | 828             | 100%   | 1,997          | 100%   | 2,222          | 100%   | 1,170           | 100%   | 6,217  | 100%   |               |



2 REAR ELEVATION - NORTH  
A2.1 1/4" = 1'-0"

ALL PARAPETS ARE FULLY ENCLOSED ON ALL SIDES OF THE BUILDING. THE BACKSIDE OF ANY EXPOSED PARAPET WALLS WILL BE FINISHED WITH MASONRY TO MATCH THE FRONT SIDE OF THE WALLS.

**KEY NOTES:**

- AP ALPOLIC METAL PANEL (COLOR: RAL 7022)
- BR MODULAR FACE BRICK COLOR:  
B1 = "MUSHROOM BROWN" BY ACME BRICK COMPANY  
B2 = "EBONY" SMOOTH BY ACME BRICK COMPANY  
(MORTAR TO MATCH BRICK COLOR AS MUCH AS POSSIBLE)
- AL ALUMINUM BATTEN SYSTEM  
MFR: B+N INDUSTRIES  
SIZE: 2"x2" PROFILE  
COLOR: WOOD GRAIN, BACKRAIL UNFINISHED, ENDCAP PAINTED TO MATCH SUBSTRATE; 1/2" EXTERIOR HIGH DENSITY OVERLAY (HDO) PLYWOOD, BB, GROUP 1. HDO BOTH FACES. APAP TRADEMARKED, COURSE GRIT SAND SURFACES PRIOR TO PRIMING. PRIME AN DPAINT BOTH SIDES AND ALL EDGES.  
SUBSTRATE COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- TL TRU EXTERIOR 1"x6" TRIM, PAINTED ON SITE  
COLOR: "IRON ORE" SW 7069 BY SHERWIN WILLIAMS
- C1 ALUMINUM CANOPY SYSTEM W/FASCIA  
COLOR: WHITE
- C2 ALUMINUM CANOPY SYSTEM  
COLOR: RAL 7022
- C3 ALUMINUM CANOPY TIEBACK  
COLOR: RAL 7022  
GC TO PROVIDE CONTINUOUS BLOCKING ON WALL BEHIND TIEBACKS. WHEN TIEBACKS ARE INSTALLED ON METAL PANELING. SEE DETAIL 3/AS.0
- EJ EXPANSION JOINT, SEE DETAIL 7/A4.1
- FB CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)  
BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18)
- D HOLLOW METAL DOOR  
PAINT: "GAUNTLET GREY" SW7019 BY SHERWIN WILLIAMS
- DE DECAL BY GRAPHICS SUPPLIER  
SURFACE APPLIED, FIELD INSTALLED, PRE CUT, PRE SPACED.  
SUPPLIERS:  
VOMELA (865) 330-7337, ann.bowen@vomela.com  
GFX INTERNATIONAL (847) 543-4600, mcdonaldsdecor@gfxi.com
- SR 12" STANDING SEAM METAL SLOPED ROOF OVER METAL AWNING FRAME (COLOR DARK BRONZE)
- LL LIMESTONE BY SALADO LIMESTONE (ARCHITECTURAL CUT)  
COLOR: LINEN (RUNNING BOND) SIZE: 8"x16"x4"  
FINISH: SMOOTH
- GR GUARD RAIL -SEE SITE PLAN FOR EXACT LOCATION AND LENGTH  
USE STAINLESS STEEL OR GALVANIZED STEEL
- L1 RECESSED DOWN LIGHT FIXTURE - SEE ELECTRICAL  
COLOR: GOLD
- W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS  
COLOR: EXTRA DARK BRONZE
- W2 DRIVE-THRU WINDOW BY READY ACCESS  
MODEL: 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM, MANUAL OPEN; ELECTRONIC RELEASE  
COLOR: DEEP BRONZE  
SLIDE DIRECTION: RL = RIGHT TO LEFT  
LR = LEFT TO RIGHT
- L2 RADIAL SCONCE LIGHT FIXTURE - SEE ELECTRICAL  
C1-COLOR:  
C1= WHITE  
C2= PLATINUM SILVER  
C3= DARK BRONZE
- LE ACCENT LIGHTING - SEE ELECTRICAL  
L1-LED LIGHT:  
L1 = SLIM LED (DOWN ONLY)  
L2 = INTEGRAL CANOPY FIXTURE  
L3 = UP ONLY FLOOD FIXTURE
- MF METAL FASCIA  
C1-TYPE:  
1 = PRE-FAB ANCHOR-TITE FASCIA  
2 = BOTTOM TRIM AT METAL REVEAL PANEL  
3 = VERTICAL TRIM AT METAL REVEAL PANEL CORNERS, CLOSURES  
COLOR:  
C1= WEATHERED ZINC  
C2= RAL 7022
- AW METAL AWNINGS WITH ALUMINUM SUPPORT BRACKETS, BY CANOPY VENDOR (COLOR DARK BRONZE)
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WITNESS OUR HANDS, this \_\_\_\_ day of \_\_\_\_\_, 2024.

\_\_\_\_\_  
Planning & Zoning Commission, Chairman

\_\_\_\_\_  
Director of Planning and Zoning

CASE NUMBER: SP2023-048

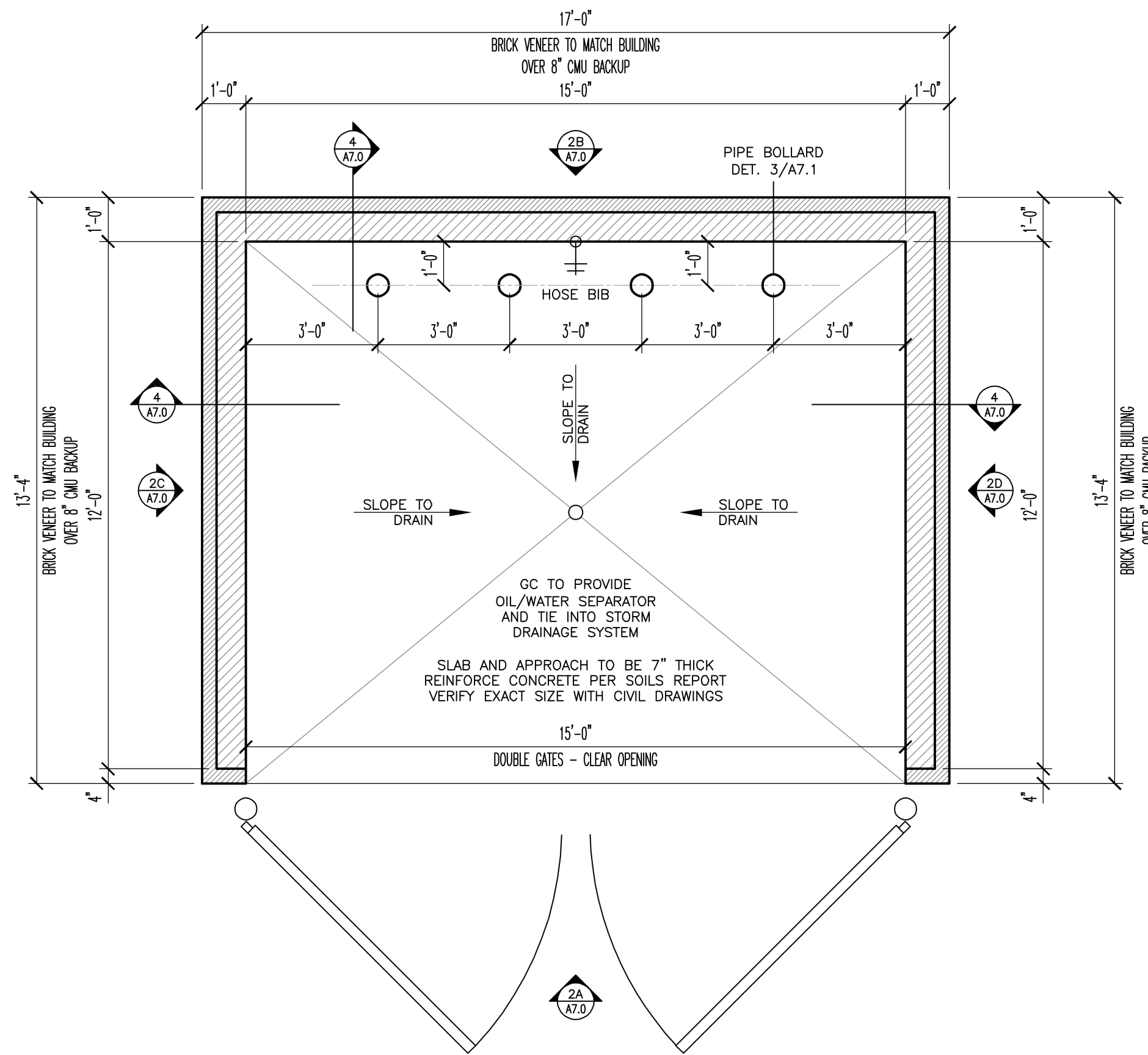
PREPARED BY: JAW ARCHITECTS  
DRAWN BY: JAW  
SHEET NO. 2023 CUSTOM BUILDING DESIGN 4597-WOOD/WOOD  
DESCRIPTION: WOOD BEARING WALLS W/4" BRICK VENEER WOOD ROOF TRUSS FRAMING STONE/BATTEN/BRICK EXTERIOR FINISH  
SITE ID: \_\_\_\_\_  
SITE ADDRESS: \_\_\_\_\_  
NWC OF STATE HWY 205 & FM 549, ROCKWALL TEXAS 042-3426

DATE: 10/06/2023  
REVISIONS:  
1 12/11/2023 PLANNING DEPARTMENT COMMENTS

DATE: \_\_\_\_\_  
REVISIONS: \_\_\_\_\_

DESCRIPTION: \_\_\_\_\_

BY: \_\_\_\_\_



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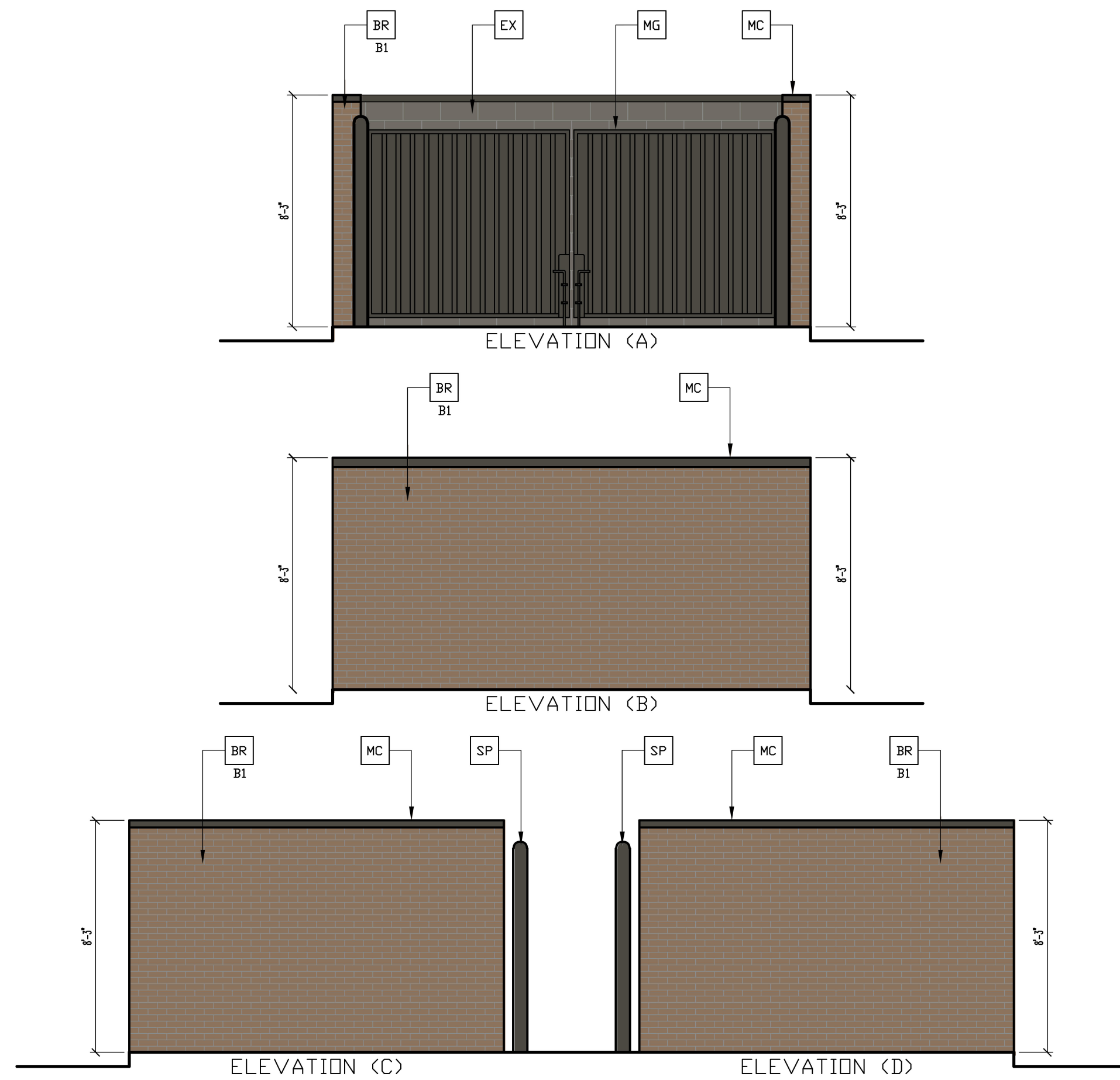
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\_\_\_\_\_  
 Planning & Zoning Commission, Chairman

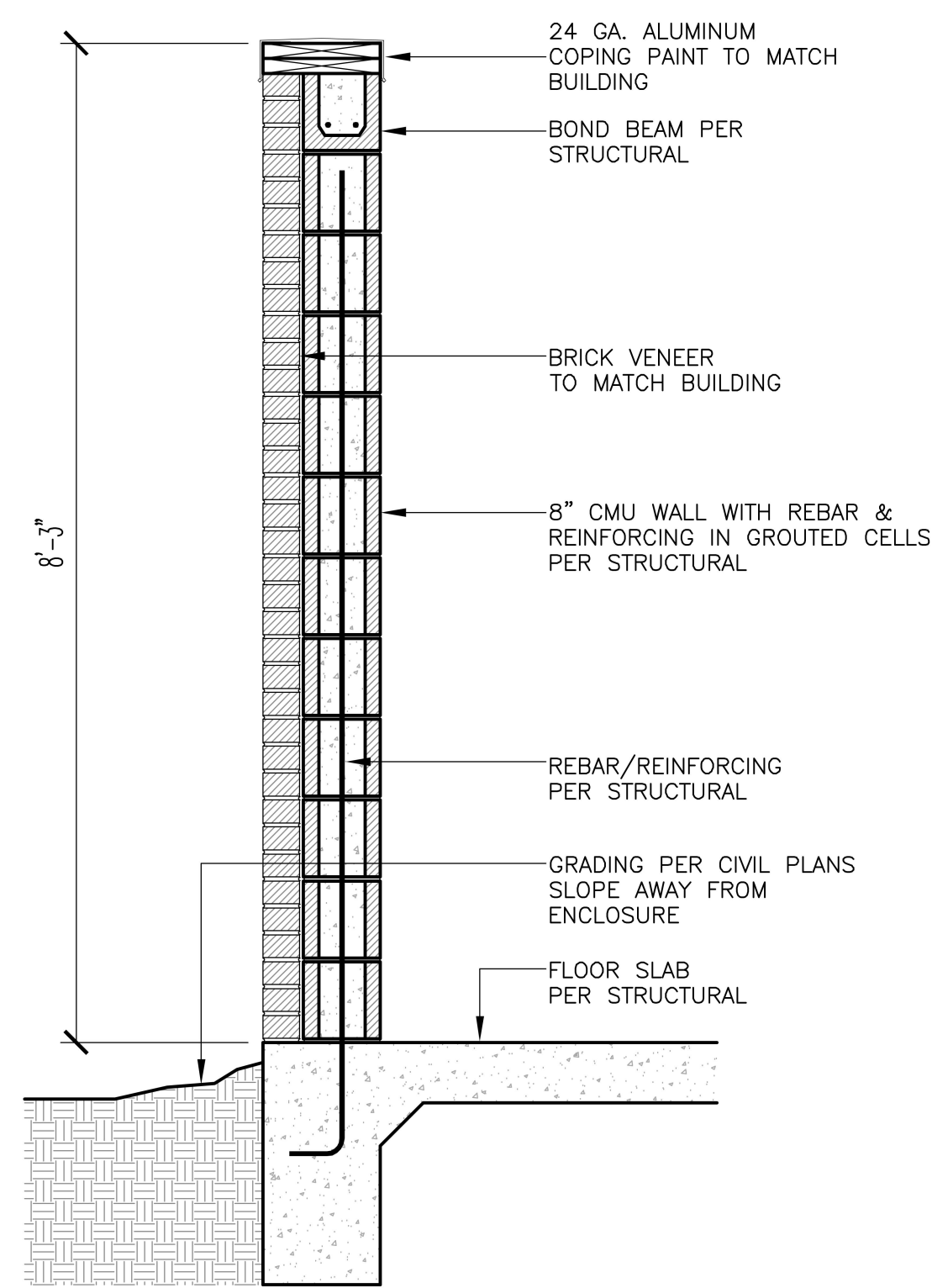
\_\_\_\_\_  
 Director of Planning and Zoning

CASE NUMBER: SP2023-048

1 DUMPSTER ENCLOSURE PLAN SCALE 3/8"=1'-0"



2 DUMPSTER ELEVATIONS SCALE 1/4"=1'-0"



4 WALL SECTION DETAIL SCALE 3/4"=1'-0"

KEY NOTES:

- BR MODULAR FACE BRICK
- B1 - COLOR: B1 = "MUSHROOM BROWN" BY AMCE BRICK COMPANY
- MC 24 GAUGE ALUMINUM COPING OVER CMU ENCLOSURE WALLS COLOR TO MATCH "MF-C2" RAL 7022
- SP STEEL CONCRETE FILLED POST PAINT TO MATCH BUILDING TRIM COLOR RAL 7022
- MG METAL DUMPSTER ENCLOSURE ENTRY GATES, REF DETAILS AND NOTES, COLOR RAL 7022
- EX GC TO PAINT EXPOSED CMU BLOCK (INSIDE ENCLOSURE) TO MATCH RAL 7022

GENERAL NOTES:

GENERAL CONTRACTOR TO PROVIDE 6 INCHES OF EXPOSED GRADE BREASTS AROUND THE STORAGE BUILDING WITH THE EXCEPTION OF THE DOOR LOCATION, COORDINATE WITH THE CIVIL GRADING PLANS.

5/8" PUDDLE WELD B/N DECK & ALL ANGLE TYPICAL IN EACH DECK FLUTE, PROVIDE #12 SCREWS @ 6" O.C. AT ALL DECK SIDE LAPS.

GENERAL CONTRACTOR TO SUPPLY AND INSTALL CORRUGATED METAL GATES (16 GAUGE) F-DECKING, ALL METAL TO BE PRIMED AND PAINTED TO MATCH THE BUILDING TRIM COLOR, VERIFY WITH ACM.

PROVIDE A 12"x12" LOUVER VENT IN HOLLOW METAL DOOR, SEE ELEVATIONS.

ELECTRICAL NOTES:

OCCUPANCY SENSOR: GC TO PROVIDE A WALL MOUNTED OCCUPANCY SENSOR, REF ELECTRICAL PLANS FOR MORE INFORMATION.

GC TO INSTALL NEW STRIP LIGHT FIXTURE, PER MANF.'S RECOMMENDATIONS, F25 - 42W LED BY COLUMBIA LIGHTING #LCL4-40ML-EDU.

GC TO PROVIDE A 20A, 120V, RECEPTACLE WITHIN 25 FEET OF THE HVAC EQUIPMENT, PER CODE.

ALL LIGHTING/POWER SHALL BE CONNECTED TO AN APPROPRIATE CIRCUIT IN THE MAIN BUILDING PANELS, VERIFY CIRCUITING PRIOR TO ROUGH-IN.

PREPARED FOR: **McDonald's USA, LLC**

PREPARED BY: **JAW**

REGISTERED ARCHITECT

STATE OF TEXAS

11/06/23

PLANNING DEPARTMENT COMMENTS

1

REV

DATE

DESCRIPTION

BY

TITLE: 2023 CUSTOM BUILDING DESIGN 4597-WOOD/WOOD

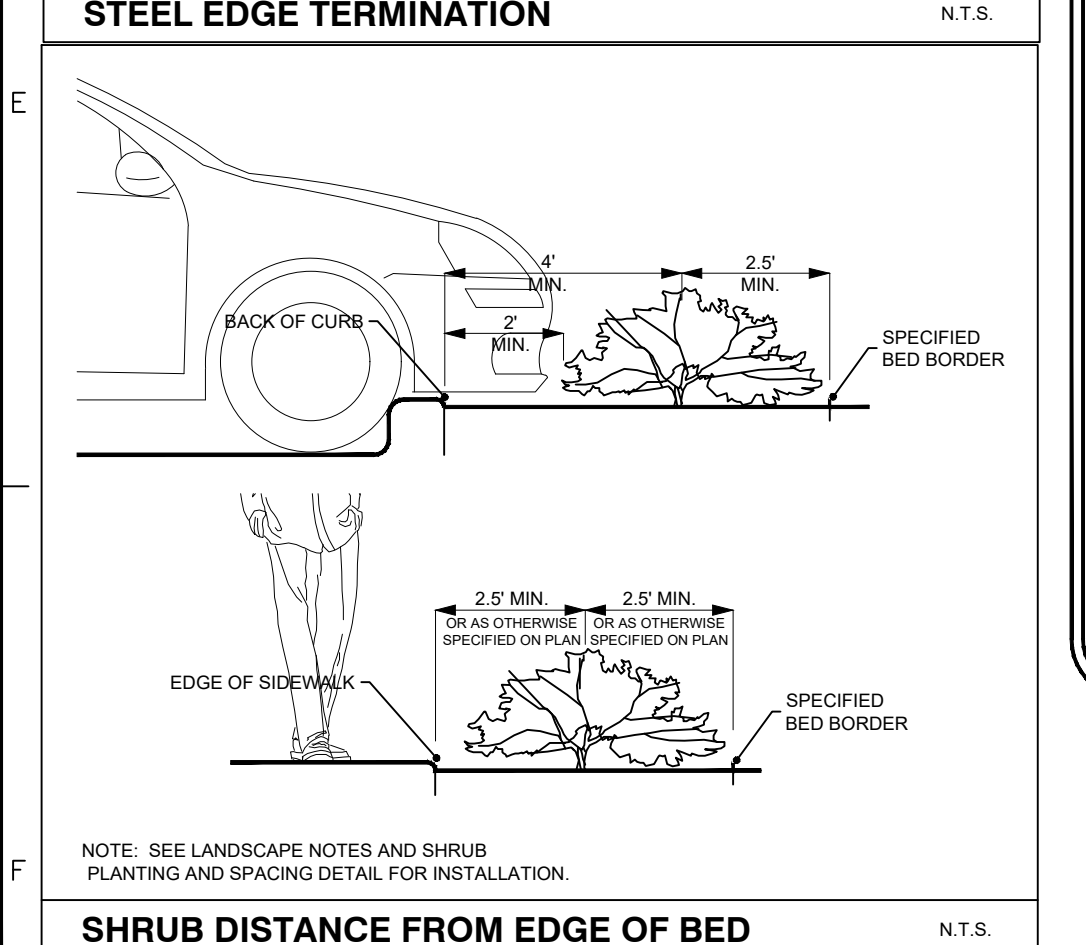
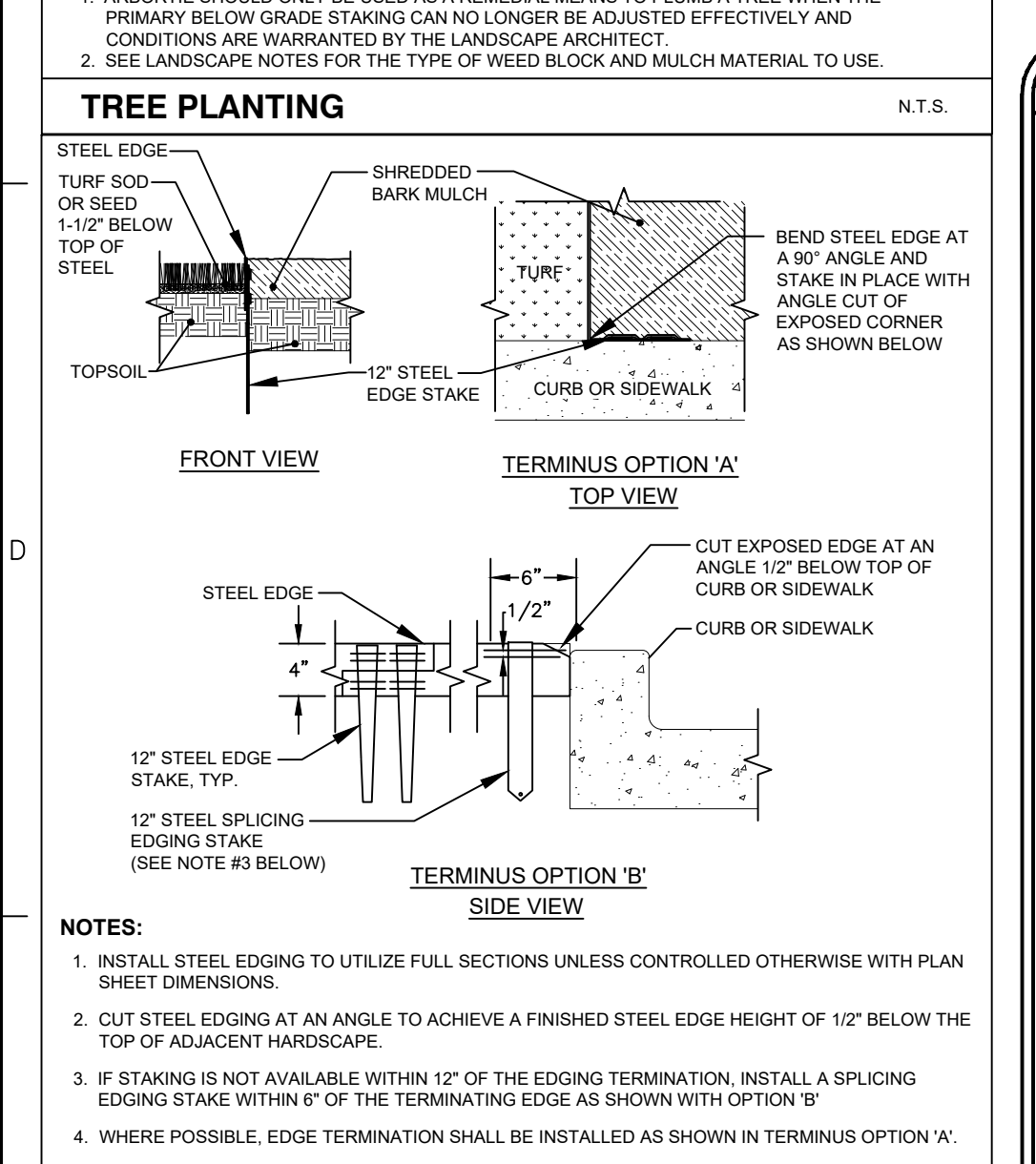
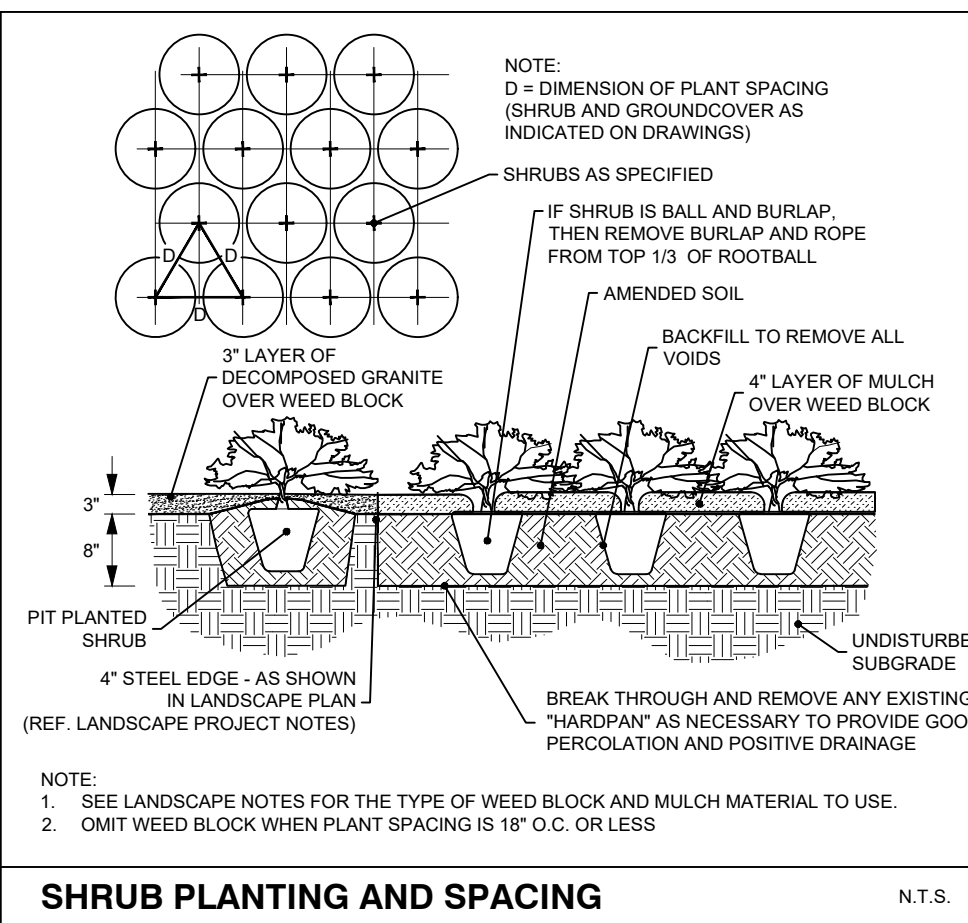
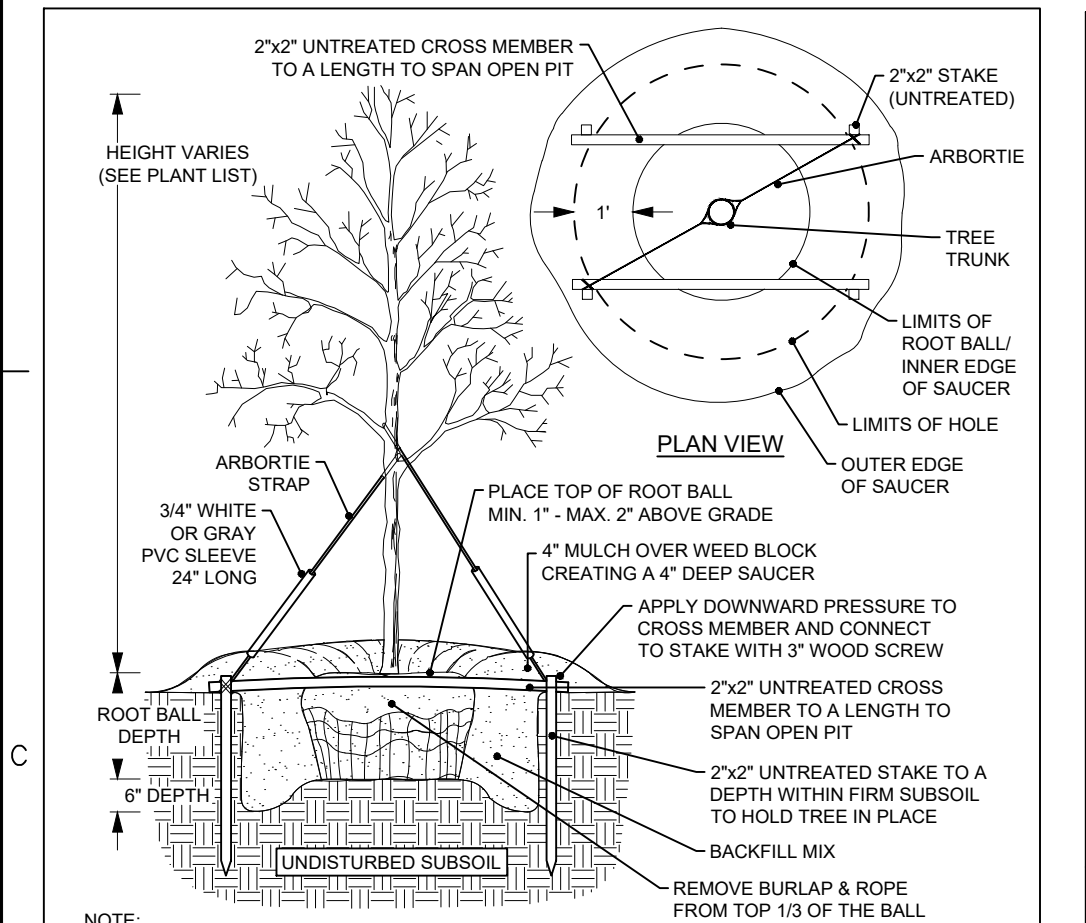
DESCRIPTION: WOOD BEARING WALLS W/4" BRICK VENEER WOOD ROOF TRUSS FRAMING STONE/BATTEN/BRICK EXTERIOR FINISH

SHEET NO. **A7.0**

JAWA 23-0038

042-3428 NMC OF STATE HWY 205 & FM 549, ROCKWALL TEXAS

| LANDSCAPE ORDINANCE COMPLIANCE CHART |   |  |            |
|--------------------------------------|---|--|------------|
| ORDINANCE SECTION                    | DESCRIPTION   | REQUIRED/PROVIDED  | COMPLIANCE |
| Section 5.01                         | Minimum of 20' wide landscape buffer along all State Highway 205  | REQUIRED: 20' wide buffer<br>PROVIDED: 20' wide buffer   | COMPLIES   |
|                                      | All landscape buffers adjacent to a public right-of-way shall incorporate ground cover, a built-up 30" tall berm and minimum 30" tall shrubbery along the entire length of the frontage | REQUIRED: 30" tall berm, 30" tall shrubs, and groundcover along entire length of frontage<br>PROVIDED: 30" tall berm, 30" tall shrubs, and groundcover along entire length of frontage | COMPLIES   |
|                                      | Also a minimum of one (2) canopy tree and one (4) accent tree shall be incorporated into the landscape buffer per 100-linear feet of frontage along the State Highway 205               | REQUIRED: 180 LF/50' = 3.6 Canopy Trees and 7.2 Accent Trees<br>PROPOSED: 4 Canopy Trees and 8 Accent Trees  | COMPLIES   |
| Section 5.03                         | Minimum of 20% of the total site must be landscaped   | REQUIRED: 54,489 Sq.Ft x 0.2 = 10,897.8 Sq.Ft<br>PROPOSED: 11,489 Sq.Ft (21.1%)  | COMPLIES   |
|                                      | Minimum 5% or 200 Sq.Ft of Landscaping (whichever is greater) in the interior parking lot area. And must have a tree within 80' of each required parking space.                         | REQUIRED: 8,466 Sq.Ft (Proposed parking area) x 0.05 = 423.3 Sq.Ft of Landscaping required<br>PROPOSED: 1,580 Sq.Ft (18.6%) and every parking space has a tree within 80' of it        | COMPLIES   |
|                                      | Minimum of 50% of required landscape must be located in the front yard or side yards of the site.   | REQUIRED: 10,897.8 Sq.Ft x 0.5 = 5,448.9 Sq.Ft<br>PROPOSED: 8,453 Sq.Ft (77.5%)  | COMPLIES   |



**LANDSCAPE PROJECT NOTES**

Refer to Sitework Specifications for all information needed for landscape work.

Notify Landscape Architect or designated representative of any layout discrepancies or any condition which may prohibit the installation as shown.

Verify and locate all utilities and site lighting conduits before landscape construction begins. Protection of all utilities is the responsibility of the Contractor.

All landscape planting areas illustrated shall be graded smooth with three inches (3") of topsoil and three inches (3") of compost applied and consistently blended (filled) to a depth of nine inches (9"). If adequate or sufficient topsoil is not available on site, the Contractor shall provide topsoil per the specifications and approved by the Owner. To obtain final grade, excavation may be necessary to accept the required depth of topsoil/compost mix with surface dressing or mulch. All beds shall be crowned to anticipate settlement and ensure drainage without disrupting surrounding planned drainage paths. Any areas disturbed for any reason prior to final acceptance of the project shall be corrected by the Contractor at no additional expense to the Owner.

All required landscape areas shall be provided with an automatic underground irrigation system with rain and freeze sensors, and said irrigation shall be designed by a qualified professional and installed by a licensed irrigator.

Quantities shown on these plans are for reference only. Plant spacing is as indicated in the Plant Material List unless otherwise noted. The Contractor has full responsibility to provide coverage in all planting areas as specified.

All trees and shrubs shall be installed per planting details.

The developer shall establish grass and maintain the seeded area, including watering, until a "Permanent Stand of Grass" is obtained at which time the project will be accepted by the city. A "Stand of Grass" shall consist of 75% to 80% coverage and a minimum of one-inch (1") in height as determined by the city.

**206 A.4.B TREE PLACEMENT AND CLEARANCES**

- If a required canopy tree is proposed within 12 feet of a building foundation, an alternate planting location on-site may be approved by the director of planning.
- no tree shall be planted closer than four feet to a right-of-way line, nor closer than eight feet to any public water line, wastewater line, fire protection connection, or drainage line, nor within any detention pond, unless approved by the director of engineering.
- a landscape area in which trees are to be provided shall not overlap or otherwise infringe upon a utility easement, unless no alternative is available.
- no tree that has a mature height of 25 feet or greater shall be planted within ten feet of an existing or proposed overhead utility line, where canopy trees are required adjacent to or underneath overhead utility lines, ornamental trees shall be provided instead of the required canopy trees at a ratio of two ornamental trees per every one required canopy tree.

All plant material shall be maintained in a healthy and growing condition, and must be replaced with similar variety and size if damaged or removed. Container grown plant material is preferred, however ball and burlap material may be substituted as indicated in the plant material list.

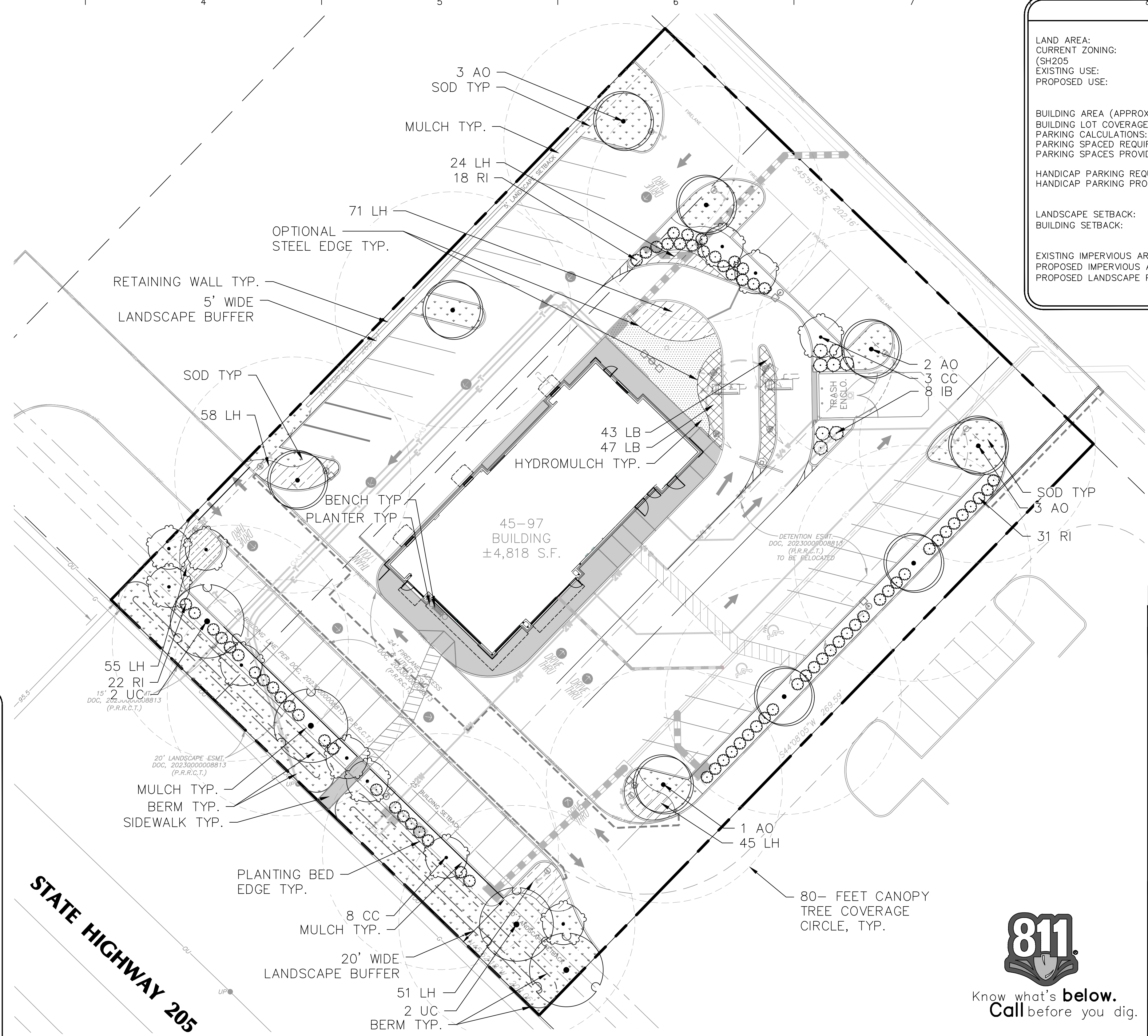
All planting beds as designated shall be bordered by Owner approved four inch (4") steel edging w/ 3/4" min. thickness unless bed is bordered by concrete. Steel edging adjacent to river rock beds shall have a 1/2" min. thickness. Terminating edging flush with paved surface with no sharp corners exposed.

A four inch (4") dressing of Shredded hardwood mulch over a 4.1 oz. woven polypropylene, needle-punched fabric or equal weed barrier shall be used in all plant beds and around all trees. Single trees or shrubs shall be mulched to the outside edge of the saucer or landscape island (See planting details).

Fertilize all plants at the time of planting with 10-10-10 time release fertilizer.

**IRRIGATION REQUIREMENT**

Irrigation system must meet the requirements of the UDC.



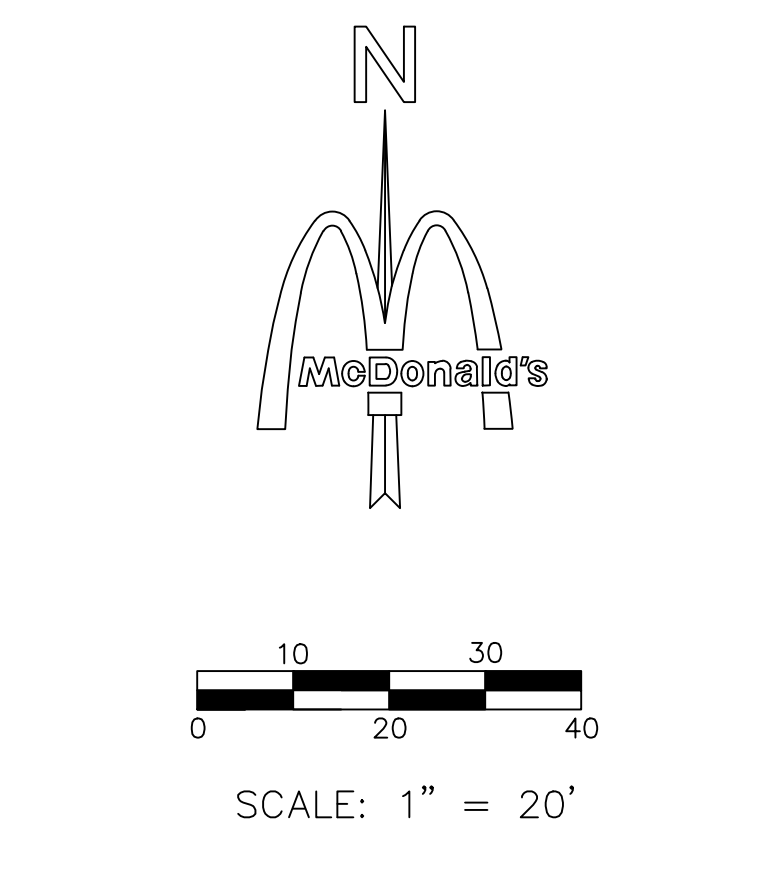
**PLANT SCHEDULE**

| TREES         | KEY | QTY | BOTANICAL / COMMON NAME                                 | SIZE    | ROOT      | HEIGHT/WIDTH       | SPACING  |
|---------------|-----|-----|---|---------|-----------|--------------------|----------|
|               | AO  | 9   | ACER RUBRUM 'OCTOBER GLORY' / OCTOBER GLORY RED MAPLE 1 | 4" CAL. | B&B       | 14-16' H<br>7-8' W |          |
|               | CC  | 11  | CERCIS CANADENSIS / TEXAS REDBUD                        | 2" CAL. | B&B       | 8-10" H<br>4-5" W  | 25' O.C. |
|               | UC  | 4   | ULMUS CRASSIFOLIA / CEDAR ELM                           | 4" CAL. | B&B       | 14-16' H<br>7-8' W | 50' O.C. |
| SHRUBS        | KEY | QTY | BOTANICAL / COMMON NAME                                 | SIZE    | ROOT      | HEIGHT/WIDTH       | SPACING  |
|               | IB  | 8   | ILEX CORNUTA 'BURFORDII NANA' / DWARF BURFORD HOLLY     | 5 GAL.  | CONTAINER | 2-4' H<br>2-4' W   | 4' O.C.  |
|               | RI  | 71  | RHAPHIOLEPIS INDICA / INDIAN HAWTHORN                   | 5 GAL.  | CONTAINER | 2-4' H<br>2-4' W   | 4' O.C.  |
| GROUND COVERS | KEY | QTY | BOTANICAL / COMMON NAME                                 | SIZE    | ROOT      | HEIGHT/WIDTH       | SPACING  |
|               | LB  | 90  | LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LILYTURF          | 1 GAL.  | CONTAINER | 6-18" H<br>6-12" W | 24" O.C. |
|               | LH  | 304 | LANTANA X 'NEW GOLD' / NEW GOLD LANTANA                 | 1 GAL.  | CONTAINER | 6-12" H<br>6-10" W | 24" O.C. |

NOTE: 1) WRAP TRUNKS OF MAPLE SPECIES FOR 1ST YEAR TO PREVENT BARK SUN SCALD AND EVENTUAL LOSS OF TREES.

**SITE INFORMATION**

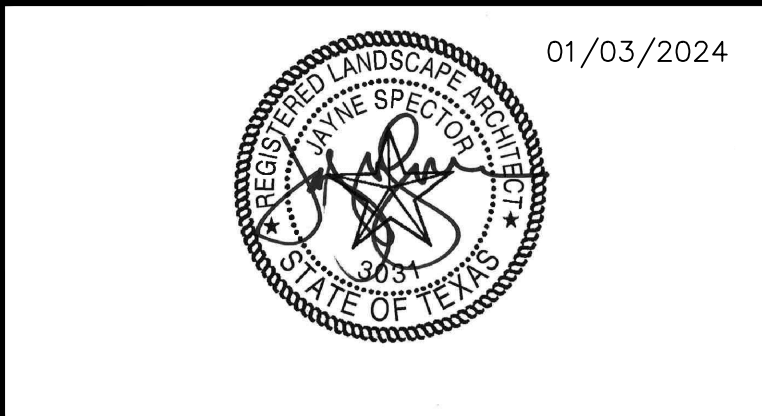
|                                |                                    |
|--------------------------------|------------------------------------|
| LAND AREA:                     | 54,489 SF (1.251 AC)               |
| CURRENT ZONING:                | C-COMMERCIAL DISTRICT              |
| (SH205)                        | OVERLAY DISTRICT                   |
| EXISTING USE:                  | VACANT LOT                         |
| PROPOSED USE:                  | MCDONALD'S RESTAURANT W/DRIVE-THRU |
| BUILDING AREA (APPROXIMATE):   | 4,818 GFA                          |
| BUILDING LOT COVERAGE:         | 4,818 SF/54,489 SF = 8.84%         |
| PARKING CALCULATIONS:          | 1 SPACE PER 100 SF                 |
| PARKING SPACES REQUIRED:       | 48                                 |
| PARKING SPACES PROVIDED:       | 48                                 |
| HANDICAP PARKING REQUIRED:     | 2                                  |
| HANDICAP PARKING PROVIDED:     | 2                                  |
| LANDSCAPE SETBACK:             | 20' FRONT; 5' REAR & SIDE          |
| BUILDING SETBACK:              | 25' FRONT; 10' SIDES & REAR        |
| EXISTING IMPERVIOUS AREAS:     | 13.9% (7,592 SF)                   |
| PROPOSED IMPERVIOUS AREAS:     | 65.8% (35,848 SF)                  |
| PROPOSED LANDSCAPE PERCENTAGE: | 20.3% (11,049 SF)                  |



| Date      | Description | No. |
|-----------|-------------|-----|
| Revisions |             |     |

**McDonald's USA, LLC**

These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on this specific site in conjunction with its issue date and are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the services of properly licensed architects and engineers. Reproduction of the contract documents for reuse on another project is not authorized.



**LANGAN**

Langan Engineering and Environmental Services, Inc.

2999 Olympus Blvd, Suite 165  
Dallas, TX 75019

T: 817.328.3200 www.langan.com  
TBPE FIRM REG. #F-1709

Project **McDonald's Restaurant**  
**L/C #042-3426 (NSN 41096)**  
**4901 S. GOLIAD ST.**  
**PROPOSED LOT 2R, BLOCK A,**  
**CREEKSIDE COMMONS**  
**ROCKWALL**

**ROCKWALL COUNTY TEXAS**

Drawing Title

**LANDSCAPE PLAN**

Project No. **520061401** Drawing No. **L1.0**

Date **01/03/2024**

Drawn By **DH**

Checked By **J**

Sheet **12** of **21**

**SIGNATURE BLOCK**

Approved:

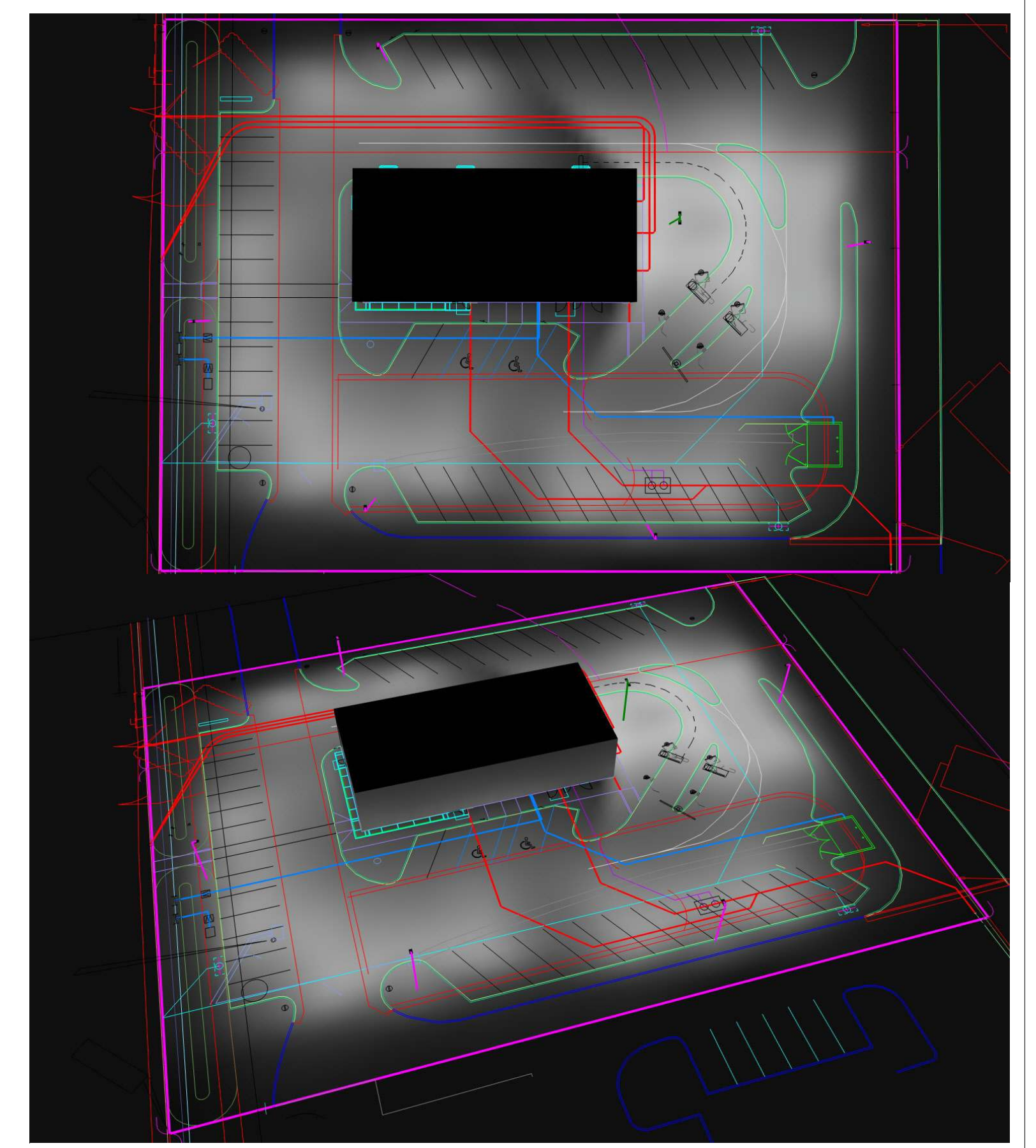
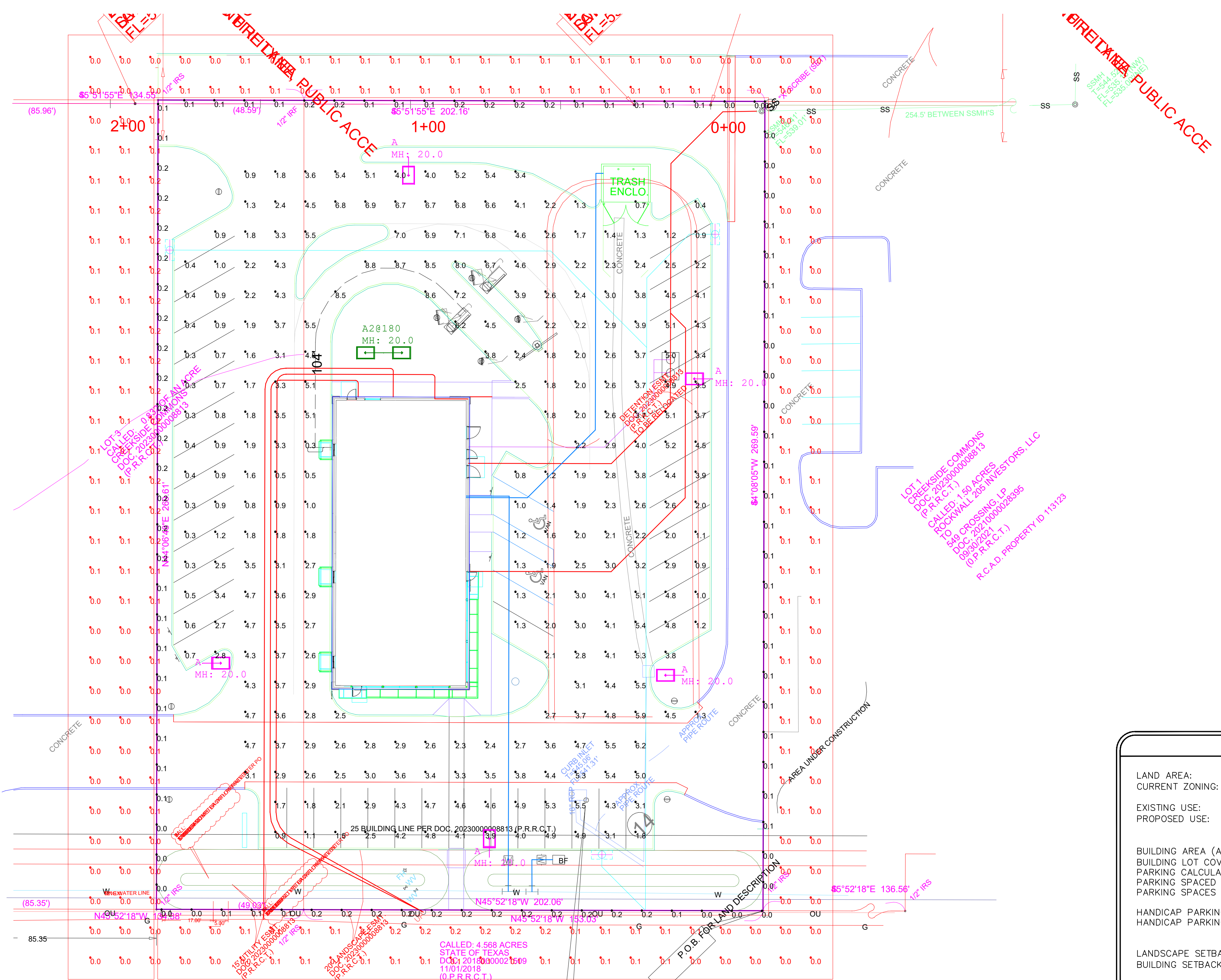
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WITNESS OUR HANDS, this \_\_\_ day of \_\_\_, 2024.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

NOTES:  
 1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.  
 2. DISTANCE BETWEEN READINGS \_\_\_\_\_ 10'



Pole Fixtures Are Full Cutoff  
 Tilt=0  
 Calculation Grids Are At Grade  
 Pole Light Mounting Height=20ft  
 (17' Pole + 3' Base)

| SITE INFORMATION               |  |
|--------------------------------|--|
| LAND AREA:                     | 54,489 SF (1.251 AC)                           |
| CURRENT ZONING:                | C-COMMERCIAL DISTRICT (SH205 OVERLAY DISTRICT) |
| EXISTING USE:                  | VACANT LOT                                     |
| PROPOSED USE:                  | MCDONALD'S RESTAURANT W/DRIVE-THRU             |
| BUILDING AREA (APPROXIMATE):   | 4,365 GFA                                      |
| BUILDING LOT COVERAGE:         | 4,365 SF/54,489 SF = 8.01%                     |
| PARKING CALCULATIONS:          | 1 SPACE PER 100 SF                             |
| PARKING SPACES REQUIRED:       | 44   |
| PARKING SPACES PROVIDED:       | 45   |
| HANDICAP PARKING REQUIRED:     | 2  |
| HANDICAP PARKING PROVIDED:     | 2  |
| LANDSCAPE SETBACK:             | 20' FRONT; 5' REAR & SIDE                      |
| BUILDING SETBACK:              | 25' FRONT; 10' SIDES & REAR                    |
| EXISTING IMPERVIOUS AREAS:     | 13.9% (7,592 SF)                               |
| PROPOSED IMPERVIOUS AREAS:     | 64.4% (35,072 SF)                              |
| PROPOSED LANDSCAPE PERCENTAGE: | 21.7% (11,825 SF)                              |

PROJECT WIND LOAD CRITERIA BASED ON:  
 ASCE 7-10 WIND SPEEDS (3-SEC PEAK GUST MPH)  
 50 YEAR MEAN RECURRENCE INTERVAL  
 ALLOWED EPA XX-X @ WIND LOAD XX MPH

| Calculation Summary        |             |       |      |     |     |         |         |
|----------------------------|-------------|-------|------|-----|-----|---------|---------|
| Label                      | CalcType    | Units | Avg  | Max | Min | Avg/Min | Max/Min |
| ADJACENT PROPERTY READINGS | Illuminance | Fc    | 0.07 | 0.2 | 0.0 | N.A.    | N.A.    |
| PAVED SURFACE READINGS     | Illuminance | Fc    | 3.16 | 8.8 | 0.3 | 10.53   | 29.33   |
| PROPERTY LINE READINGS     | Illuminance | Fc    | 0.11 | 0.2 | 0.0 | N.A.    | N.A.    |

| Luminaire Schedule |     |        |             |       |                                   |            |       |            |                           |
|--------------------|-----|--------|-------------|-------|-----------------------------------|------------|-------|------------|---------------------------|
| Symbol             | Qty | Label  | Arrangement | LLF   | Description                       | Lum. Watts | EPA   | Mtg Height | Pole Type                 |
|                    | 5   | A      | Single      | 1.000 | VP-2-320L-145-5K7-4W-DBS-HSS-90-B | 145.6      | 0.607 | 20         | SES-17-40-1-TA-GL-DB (4") |
|                    | 1   | A2@180 | Back-Back   | 1.000 | VP-2-320L-145-5K7-4W-DBS          | 150        | 0.607 | 20         | SES-17-40-1-TA-GL-DB (4") |

Regional Drawing  
 # 423426

**SECURITY LIGHTING™**  
 2100 Gulf Road, Suite 400, Rolling Meadows, IL 60008  
 1-800-544-4444

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES  
 SCALE 1"=20' 0"

DRAWN BY: **CLB LEED AP BD+C**

POINT-BY-POINT FOOTCANDLE PLOT FOR  
 MCDONALD'S  
 550 FARM TO MARKET RD 549  
 ROCKWALL, TX 75082

NATIONAL STORE NUMBER  
**41096**

DATE: 9/15/2023  
 DRAWING NUMBER: A231820A.AGI

THIS DRAWING MEETS OR EXCEEDS MCDONALD'S CURRENT ILLUMINATION SPECIFICATIONS OF A 3-4 FOOTCANDLE AVERAGE, UNLESS SUPERSEDED BY OTHER REQUIREMENTS.

1. THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS TO SECURITY LIGHTING SYSTEMS. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.  
 2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.  
 3. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.  
 4. THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO BE COMPLIANT WITH TITLE 24 OR OTHER ENERGY REQUIREMENTS, PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SO THAT REVISIONS MAY BE MADE TO THE DRAWING.





January 3, 2024

City of Rockwall  
Planning and Zoning  
385 S Goliad Street  
Rockwall, TX 75087

**RE: McDonald's Variance – 550 FM 549, Rockwall, TX 75032 / Case: SP2023-048**

McDonald's is requesting the following variances for this project:

1. A pitched roof variance on Subsection 06.02. C.2, of Article 05 Overlay Commercial District Standards, (A) (1) Roof Design Standards. McDonald's prototypical roof is a non-pitched, flat roof. The design is consistent with other businesses in the area and will conform without causing the building to appear out of place.
2. A variance to the required masonry percentage (Subsection 06.02. C, of Article 05, UDC) on the North, South, and West façades to allow for the inclusion of the wood look battens on the corners of the building. This architectural element adds visual interest and depth to the building design.
3. A variance to the required stone percentage (Subsection 06.02. C, of Article 05, UDC) on the South and West façades, this variance is requested due to the changes to the building made to help create articulation. The overall combined building design contains 23.61% natural stone.
4. A variance to the articulation requirements set forth in Subsection 04.01. C. 1, of Article 05, UDC. The project has been designed with the maximum amount of projection allowable while keeping the required site design intact. The building facades have been redesigned per the recommendations of the planners and ARB members and the building location has been modified on the site in an effort to improve articulation compliance.

With these variances we have included the compensatory measures:

1. Increased architectural elements (canopies, display windows, and cornice line provided)
2. Articulated ground floor levels or bases (natural limestone base provided)
3. The front and side yard landscaping comprise 77% of the site plantings versus the code required 50%.
4. The parking lot landscaping exceeds the requirements of the code with 1580 SF provided, versus 423 SF required.
5. A bench and outdoor planters have been added to the entrance connected to the sidewalk along Highway 205, allowing for an improved pedestrian experience and enhanced roadway visibility.
6. The code requires a total of 11 total site trees and an extra accent tree has been added to enhance the site.

Please feel free to contact me with any questions or concerns. Thank you for reviewing our request.

*Leslie Ford*

Leslie Ford  
Entitlements Consultant  
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